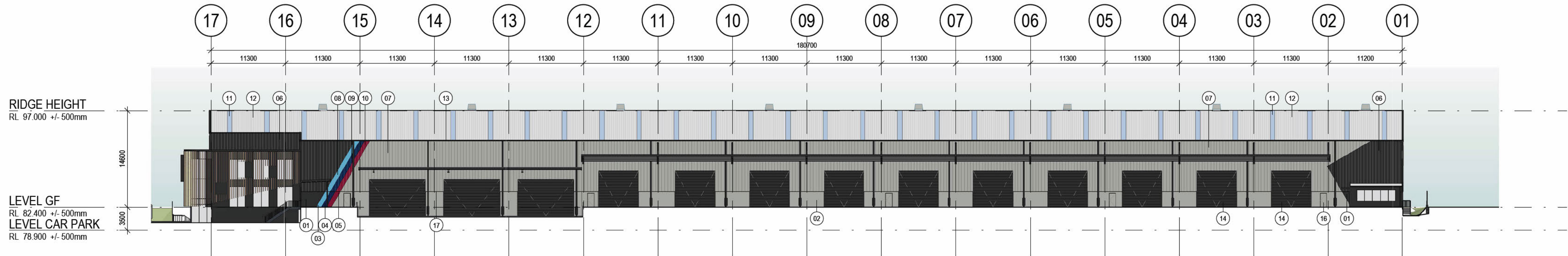


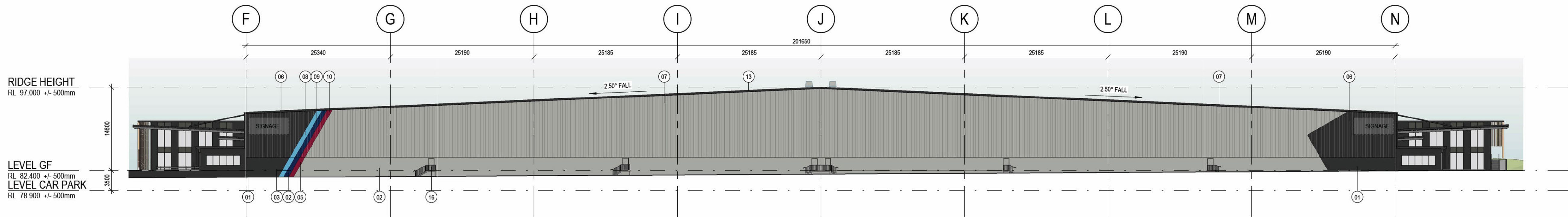
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2 WAREHOUSE B NORTH ELEVATION
1 : 400



3 WAREHOUSE B EAST ELEVATION
1 : 400



4 WAREHOUSE B WEST ELEVATION
1 : 400

- WAREHOUSE**
- 01 PRECAST CONCRETE PAINT FINISH - COLORBOND 'MONUMENT'
 - 02 PRECAST CONCRETE PAINT FINISH - COLORBOND 'SHALE GREY'
 - 03 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR LIGHT BLUE (PMS 297 C)
 - 04 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR BLUE (PMS 295 C)
 - 05 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR RED (PMS 1955 C)
 - 06 PROFILED METAL SHEETING - COLORBOND 'MONUMENT'
 - 07 PROFILED METAL SHEETING - COLORBOND 'SHALE GREY'
 - 08 PROFILED METAL SHEETING - COLOUR TO MATCH ESR LIGHT BLUE (PMS 297 C)
 - 09 PROFILED METAL SHEETING - COLOUR TO MATCH ESR BLUE (PMS 295 C)
 - 10 PROFILED METAL SHEETING - COLOUR TO MATCH ESR RED (PMS 1955 C)
 - 11 TRANSLUCENT ROOF SHEETING
 - 12 ROOF SHEETING - COLORBOND 'DOVER WHITE'
 - 13 DOWNPIPES, FASCIA & CAPPING - COLORBOND 'MONUMENT'
 - 14 ROLLER SHUTTER DOORS - COLORBOND 'MONUMENT'
 - 15 POWDERCOATED FIRE SPRINKLER TANK - COLORBOND 'MONUMENT'
 - 16 PAINTED PA DOORS - COLORBOND 'SHALE GREY'
 - 17 TOEMOULD TO MATCH ADJACENT METAL SHEET ABOVE

7/11/2024 4:55:50 PM Australian Docs/14902 ESR BARLEY RD HORSLEY PARK/14902 ESR HORSLEY PARK_ARCH.rvt

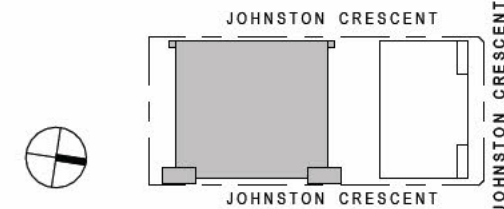


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4	ISSUED FOR SSDA	05.07.2024
3	ISSUED FOR SDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	DRAFT ISSUE	05.06.2024

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FOR SSDA

Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2
Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales



Drawing Title:
ELEVATIONS - BUILDING B

Author:
AB
Drawing Number:
14092_DA021

Checker:
MC
Sheet Size:
A1

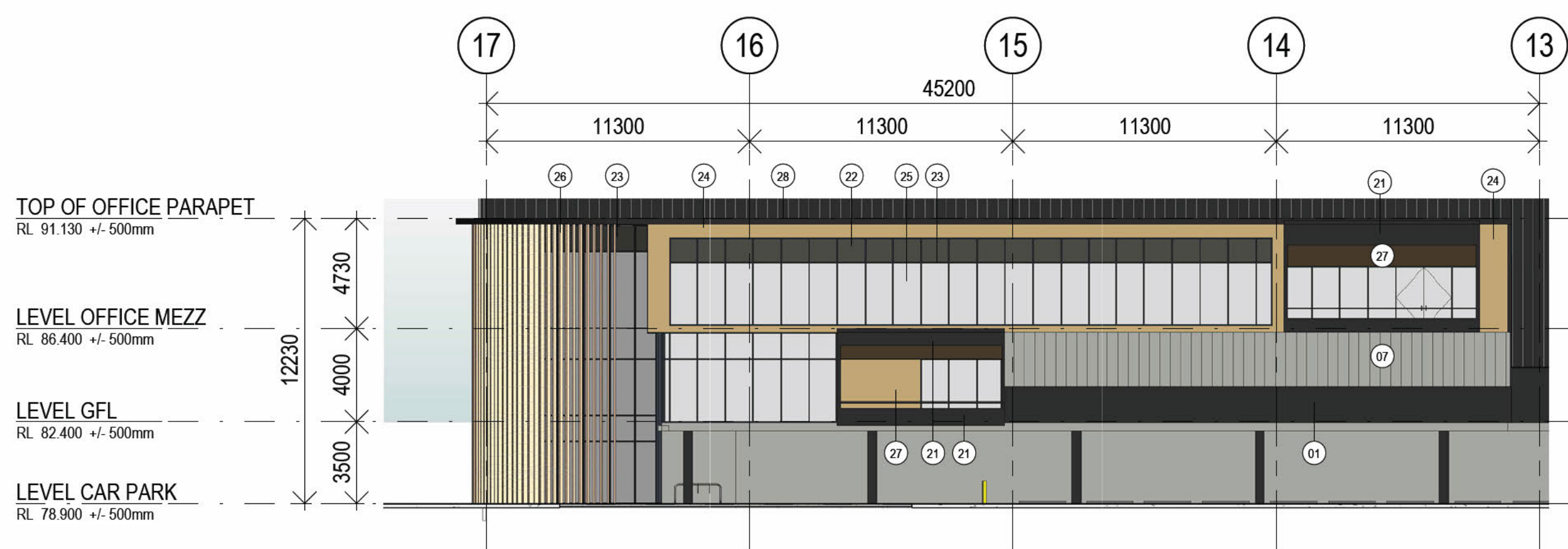
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Issue:
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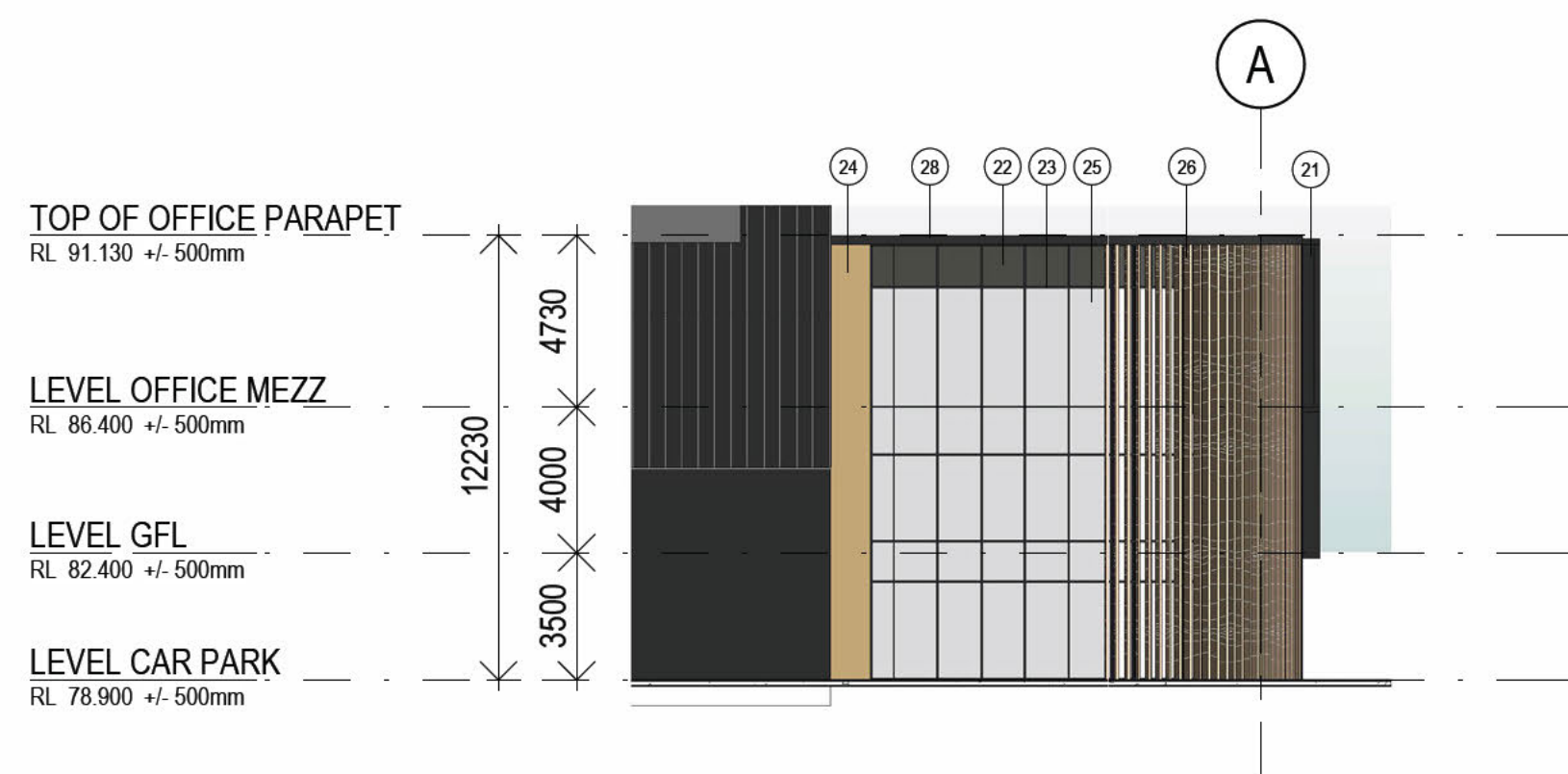
nettleton tribe partnership pty ltd ABN 58 161 683 122
117 Willoughby Road, Crows Nest, NSW 2065
t +61 2 9431 6431
e: sydney@nettletontribe.com.au w: nettletontribe.com.au

OFFICES

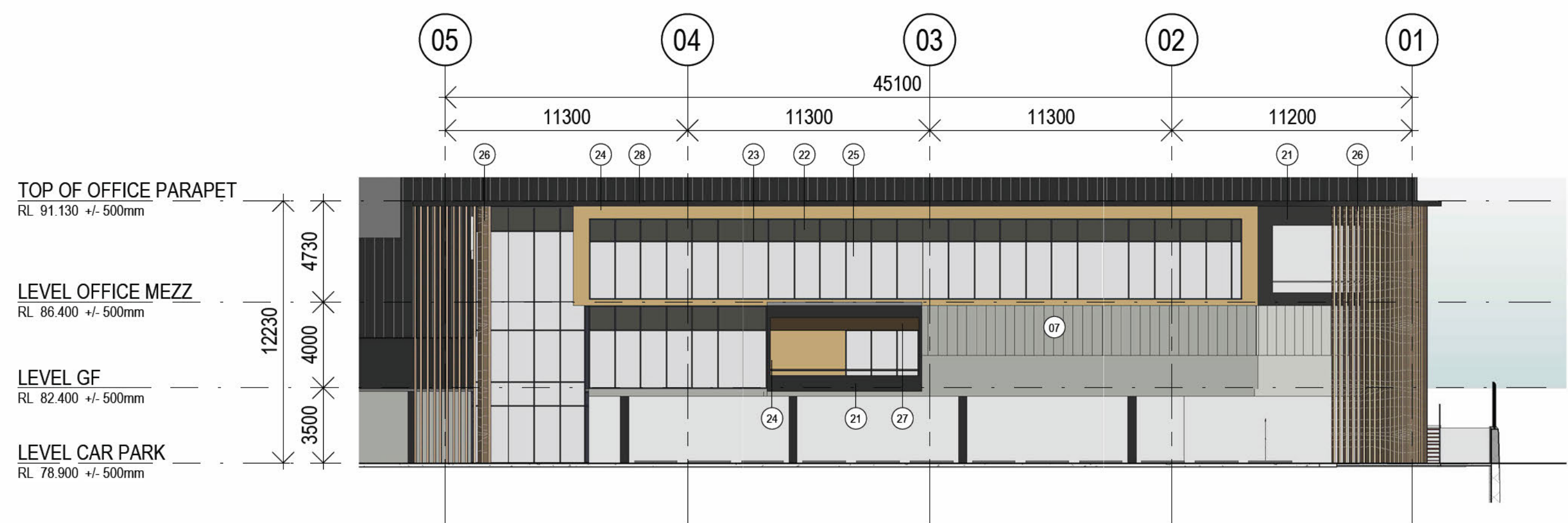
- | | |
|---|---|
|  | 21. EXTERNAL GRADE FC SHEET - COLORBOND 'MONUMENT' |
|  | 22. COLOURBACKED GLASS - COLORBOND 'WOODLAND GREY' |
|  | 23. ALUMINIUM FRAMED GLAZING - COLOUR MONUMENT POWDERCOATED SATIN |
|  | 24. PREFINISHED TIMBER LOOK FC SHEET |
|  | 25. VISION GLASS - GREY TINTED |
|  | 26. TIMBER LOOK FEATURE BLADES |
|  | 27. TIMBER LOOK EXTERNAL GRADE SOFFIT |
|  | 28. PARAPET CAPPING - COLOUR TO MATCH COLORBOND 'MONUMENT' |
|  | 01. PRECAST CONCRETE PAINT FINISH - COLORBOND 'MONUMENT' |
|  | 07. PROFILED METAL SHEETING - COLORBOND 'SHALE GREY' |
|  | 12. ROOF SHEETING - COLORBOND "DOVE WHITE" |



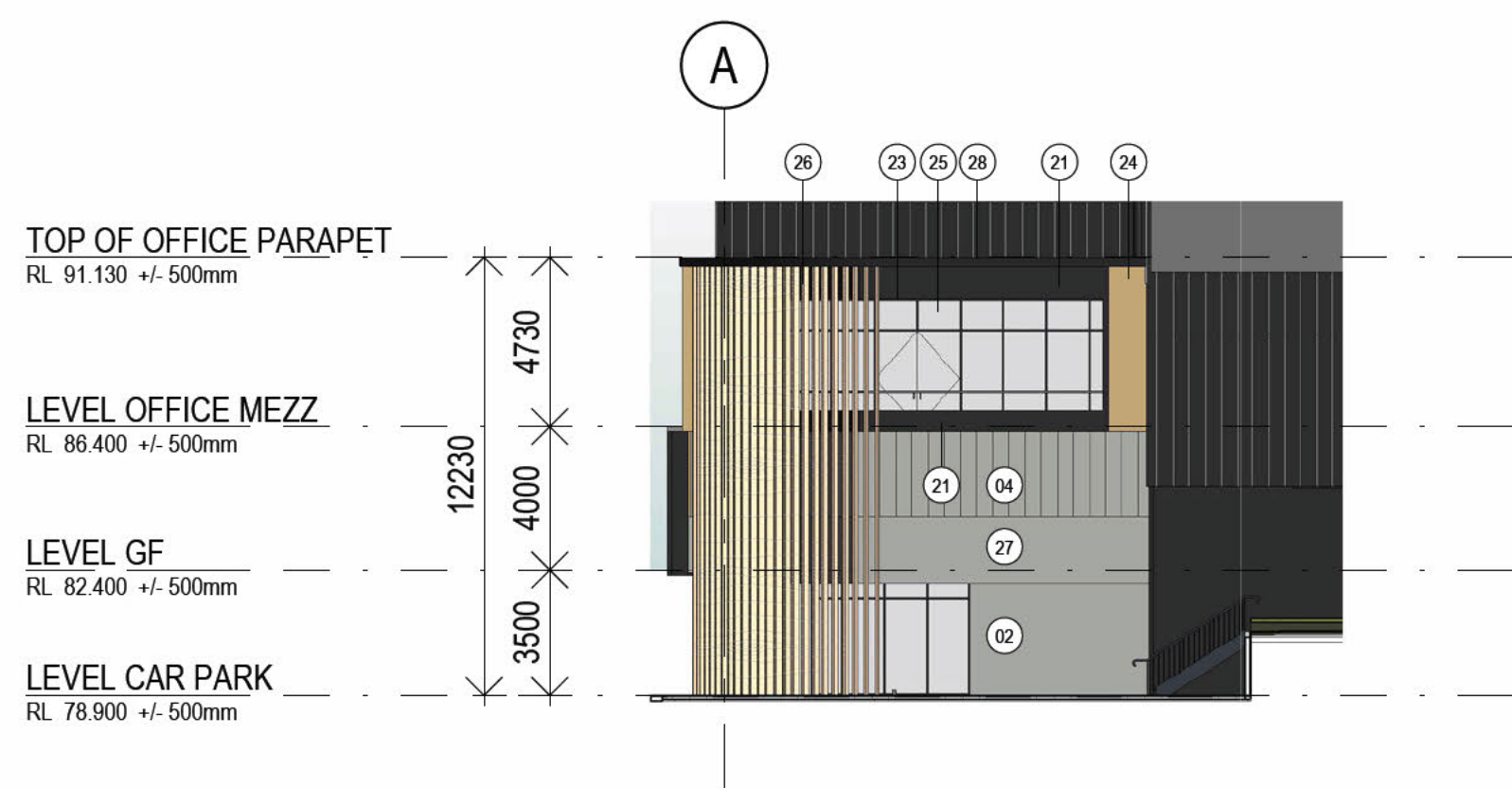
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3 OFFICE A1 EAST ELEVATION
1:200



6 OFFICE A2 NORTH ELEVATION
1:200



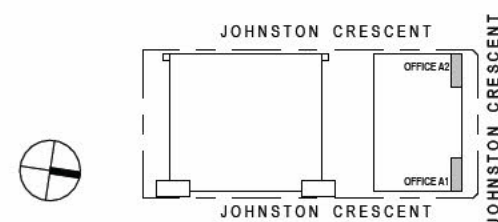
8 OFFICE A2 WEST ELEVATION
1:200

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Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales



Drawing Title:

OFFICE ELEVATIONS - BUILDING A

Author: AB Checker: MC Sheet Size: A1

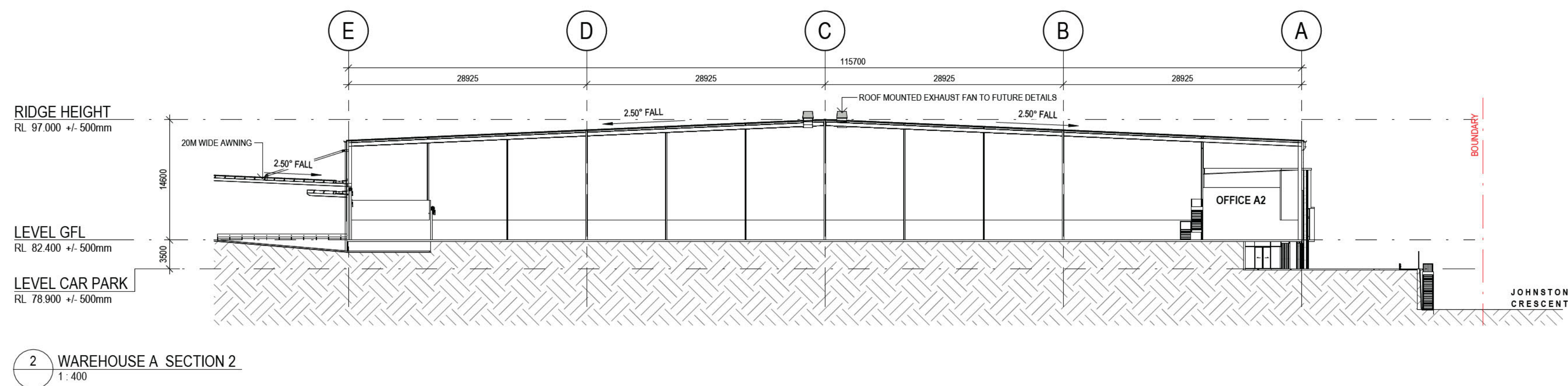
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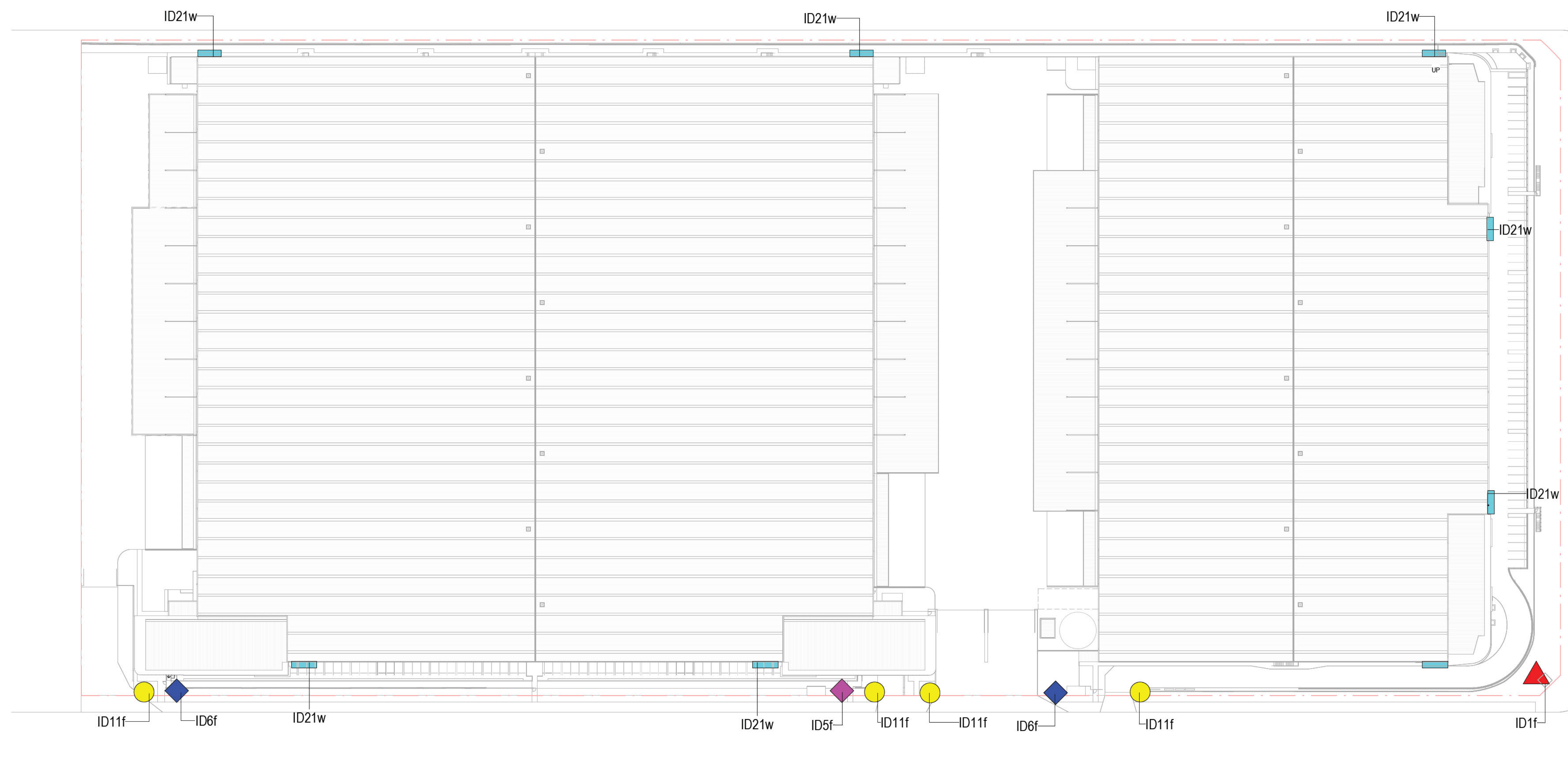
Issue:
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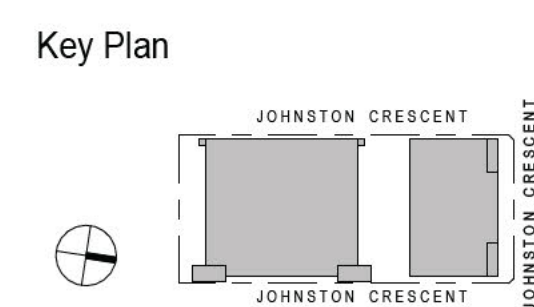
nettleton tribe partnership Pty Ltd ABN 58 161 683 122
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t +61 2 9431 6431
e: sydney@nettletontribe.com.au w: nettletontribe.com.au





[illegible]

FOR SSDA



Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW



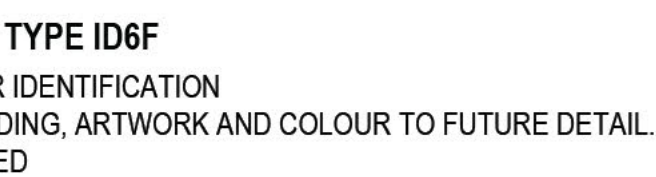
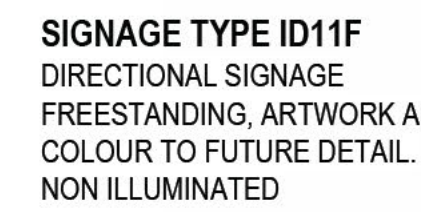
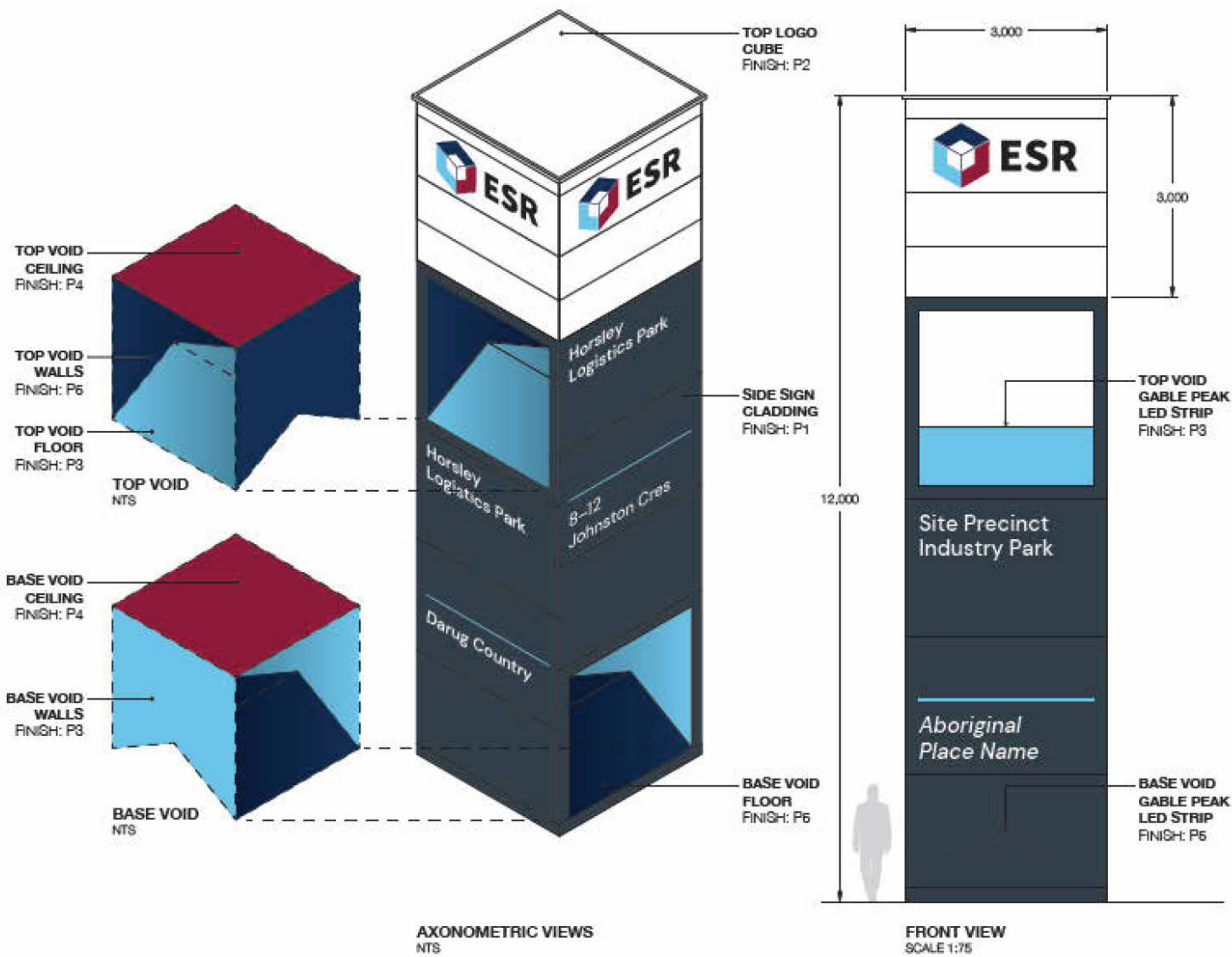
Author: AB Checker: MC Sheet Size: A1

Drawing Number:
14092 DA040

Scale:
1:750

Issue:
5

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Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales

Drawing Title:
SIGNAGE DETAILS

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e: sydney@nettletontribe.com.au w: nettletontribe.com.au



From: [REDACTED]
To: [Ginger-Rose Harrington](#)
Cc: [Balazs Hansel](#)
Subject: Re: 3 Johnston Crescent, Horsley Park ACHA - Stage 4 Draft ACHA (Our Ref#P0052050)
Date: Thursday, 12 September 2024 8:57:25 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image005.png](#)

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Hi Ginger,

After reviewing the ACHA, I agree with what's been said. I'm also happy with it to go ahead.

Kind regards,
[REDACTED]

On Wed, 11 Sept 2024, 11:54 am Ginger-Rose Harrington, <gharrington@urbis.com.au> wrote:

Good afternoon,

Thank you again for your interest in the Aboriginal Cultural Heritage Assessment ('ACHA') of [3 Johnston Crescent, Horsley Park, NSW](#), legally defined as Lot 301 in Deposited Plan (DP) DP1244594 within Fairfield Local Government Area (LGA) (the 'subject area').

We now provide a draft ACHA report for your review and comment, in accordance with section 4.4 of the *Aboriginal cultural heritage consultation requirements for proponents 2010* (DECCW). The report is accessible via the following link: <https://acrobat.adobe.com/link/track?uri=urn:aaid:scds:US:6a837116-553e-3348-afd7-05b197226faa>

If you wish to provide any comments for inclusion into the report, please do so by **5:00pm, 11 October 2024** to:

Ginger-Rose Harrington

Consultant, Urbis Ltd

Level 8, [123 Pitt Street](#)

[Sydney NSW 2000](#)

E: gharrington@urbis.com.au

If you have any questions, please do not hesitate to reach out.

Kind regards

GINGER-ROSE HARRINGTON
CONSULTANT

D +61 2 8424 5139

E gharrington@urbis.com.au



ANGEL PLACE, LEVEL 8, [123 PITT STREET](#)
[SYDNEY, NSW 2000, AUSTRALIA](#)
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From: [REDACTED]
To: [Ginger-Rose Harrington](#)
Subject: Re: 3 Johnston Crescent, Horsley Park ACHA - Stage 4 Draft ACHA (Our Ref#P0052050)
Date: Wednesday, 25 September 2024 11:12:01 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[Outlook-x4y1n4sz.png](#)

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Hi Giner-Rose,

Thank you for your Stage 4 Draft ACHA for 3 Johnston Crescent, Horsley Park, we have reviewed your report and would like to agree and support your recommendations. We continue looking forward to working alongside you on this project.



From: Ginger-Rose Harrington <gharrington@urbis.com.au>
Sent: Wednesday, 11 September 2024 11:54 AM
To: Balazs Hansel <bhansel@urbis.com.au>
Subject: 3 Johnston Crescent, Horsley Park ACHA - Stage 4 Draft ACHA (Our Ref#P0052050)

Good afternoon,

Thank you again for your interest in the Aboriginal Cultural Heritage Assessment ('ACHA') of 3 Johnston Crescent, Horsley Park, NSW, legally defined as Lot 301 in Deposited Plan (DP) DP1244594 within Fairfield Local Government Area (LGA) (the 'subject area').

We now provide a draft ACHA report for your review and comment, in accordance with section 4.4 of the *Aboriginal cultural heritage consultation requirements for proponents 2010* (DECCW). The report is accessible via the following link: <https://acrobat.adobe.com/link/track?uri=urn:aaid:scds:US:6a837116-553e-3348-afd7-05b197226faa>

If you wish to provide any comments for inclusion into the report, please do so by **5:00pm, 11**

October 2024 to:

Ginger-Rose Harrington
Consultant, Urbis Ltd
Level 8, 123 Pitt Street
Sydney NSW 2000
E: gharrington@urbis.com.au

If you have any questions, please do not hesitate to reach out.

Kind regards

GINGER-ROSE HARRINGTON

CONSULTANT

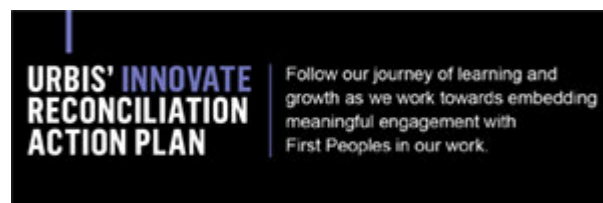
D +61 2 8424 5139

E gharrington@urbis.com.au

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COMMUNITIES**



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APPENDIX D

PLANS FOR PROPOSED DEVELOPMENT



DA DRAWING LIST				
	No.:	SHEET NAME	CURRENT REVISION	DATE
14092_	DA000	COVER SHEET	6	12.07.2024
14092_	DA001	LOCALITY & CONTEXT PLAN	4	05.07.2024
14092_	DA011	SITE PLAN	6	12.07.2024
14092_	DA012	FLOOR PLANS - BUILDING A	6	12.07.2024
14092_	DA013	FLOOR PLANS - BUILDING B	6	12.07.2024
14092_	DA014	ROOF PLAN	5	12.07.2024
14092_	DA015	OFFICE FLOOR PLANS - BUILDING A	6	12.07.2024
14092_	DA016	OFFICE FLOOR PLANS - BUILDING B	6	12.07.2024
14092_	DA017	DOCK OFFICE FLOOR PLANS & ELEVATIONS - BUILDING B	4	05.07.2024
14092_	DA020	ELEVATIONS - BUILDING A	5	12.07.2024
14092_	DA021	ELEVATIONS - BUILDING B	5	12.07.2024
14092_	DA025	OFFICE ELEVATIONS - BUILDING A	4	05.07.2024
14092_	DA026	OFFICE ELEVATIONS - BUILDING B	4	05.07.2024
14092_	DA030	SECTIONS - BUILDING A	5	12.07.2024
14092_	DA031	SECTIONS - BUILDING B	5	12.07.2024
14092_	DA040	SIGNAGE STRATEGY PLAN	5	12.07.2024
14092_	DA041	SIGNAGE DETAILS	4	05.07.2024

HORSLEY LOGISTICS PARK STAGE 2

14092

SSD APPLICATION
JULY 2024



LEGEND

SUN PATH

SITE BOUNDARY

7/11/2024 4:52:27 PM Audited Drawings/14092 ESR BURLEY RD HORSLEY PARK/14092 ESR HORSLEY PARK_ARCH.rvt

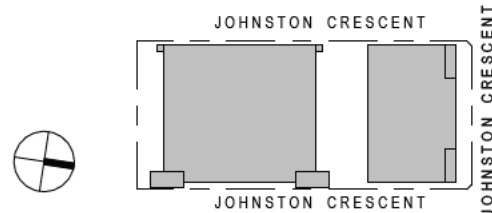


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3	ISSUED FOR SSDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	DRAFT ISSUE	05.06.2024

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FOR SSDA

Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2
Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW



Drawing Title:
LOCALITY & CONTEXT PLAN

Author: AB	Checker: MC	Sheet Size: A1	Scale: 1:5000
Drawing Number: 14092_DA001	Issue: 4		

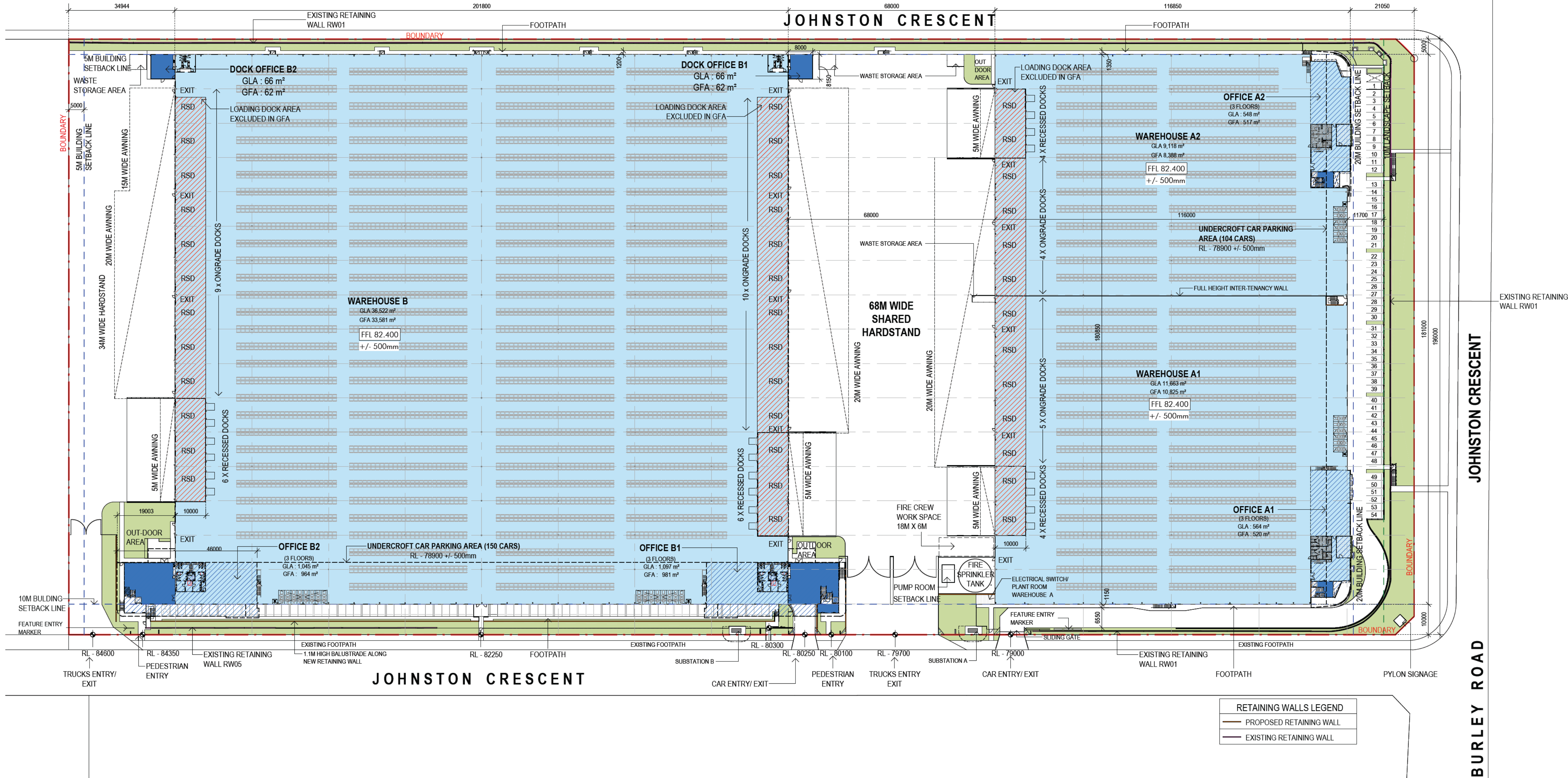
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117 Willoughby Road, Crows Nest, NSW 2065
t +61 2 9431 6431
e sydney@nettletontribe.com.au w nettletontribe.com.au

DEVELOPMENT SUMMARY (GLA)	
SITE AREA	86,721 m²
TOTAL BUILDING AREA (GLA)	60,689 m²
SITE EFFICIENCY	70%
TOTAL WAREHOUSE AREA	57,303 m²
TOTAL OFFICES AREA	3,386 m²
BUILDING A	
WAREHOUSE A1	11,663 m²
OFFICE A1	564 m²
WAREHOUSE A2	9,118 m²
OFFICE A2	548 m²
TOTAL BUILDING AREA (GLA)	21,893 m²
BUILDING B	
WAREHOUSE B	36,522 m²
OFFICE B INCLUDING DOCK OFFICES	2,274 m²
INCLUDES AREAS OF BIKE STORAGE AND ELEC/ PLANT ROOMS	
TOTAL BUILDING AREA (GLA)	38,796 m²

DEVELOPMENT SUMMARY (GFA)	
TOTAL BUILDING AREA (GFA)	55,900 m²
FLOOR SPACE RATIO	0.64:1
TOTAL WAREHOUSE AREA EXCLUDING LOADING DOCK AREA	52,794 m²
TOTAL OFFICES AREA	3,106 m²
BUILDING A	
WAREHOUSE A1	10,825 m²
OFFICE A1	520 m²
WAREHOUSE A2	8,388 m²
OFFICE A2	517 m²
TOTAL BUILDING AREA (GFA)	20,250 m²
BUILDING B	
WAREHOUSE B	33,581 m²
OFFICE B INCLUDING DOCK OFFICES	2,069 m²
TOTAL BUILDING AREA (GFA)	35,650 m²

CAR PARKING PROVISIONS	
TOTAL CAR PARKING REQUIRED WH 1000 MP (GFA) OFFICE 1/40 MP (GFA)	254 CARS
TOTAL CAR PARKING PROVIDED	254 CARS



Client

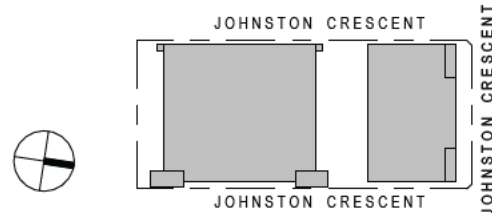


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6	ISSUED FOR DA	12.07.2024
5	REVISED GLAN	10.07.2024
4	ISSUED FOR SSDA	05.07.2024
3	ISSUED FOR SSDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	DRAFT ISSUE	05.06.2024

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FOR SSDA

Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales



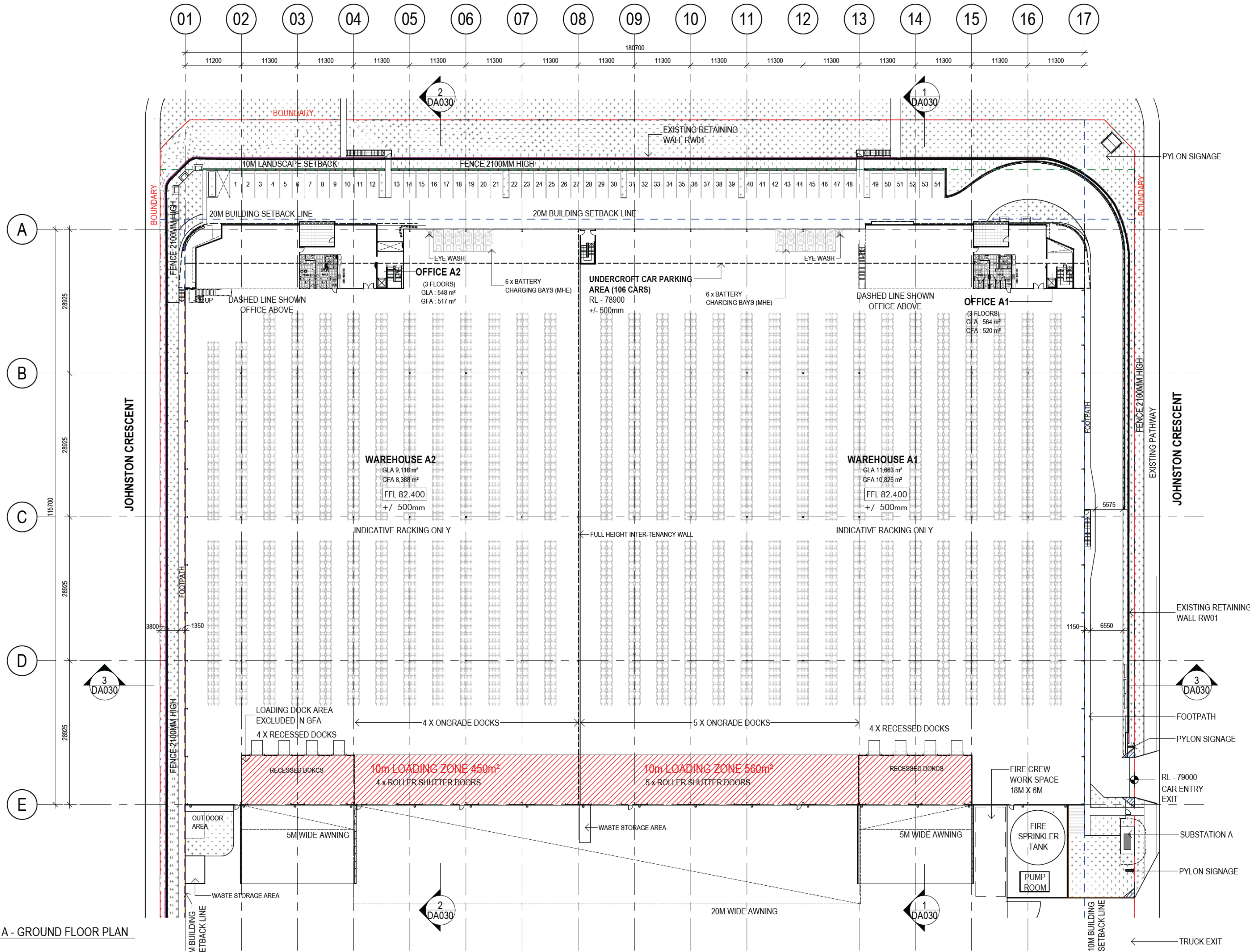
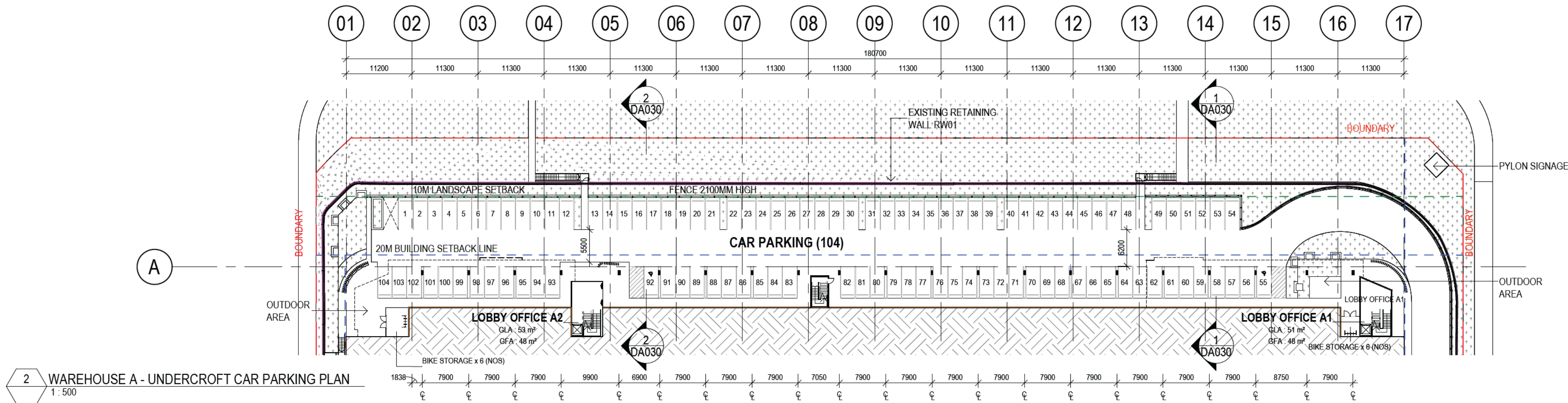
Drawing Title
SITE PLAN

Author: **AB**
Checker: **MC**
Sheet Size: **A1**
Drawing Number: **14092_DA011**

Scale: **1:750**
Issue: **7**

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RETAINING WALLS LEGEND	
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL

Client

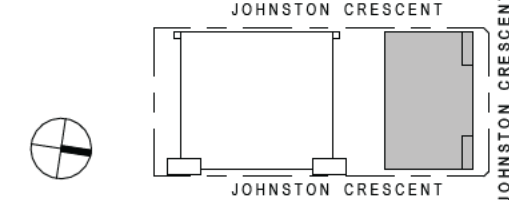


Issue	Description	Date
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5	REVISED GLA	10.07.2024
4	ISSUED FOR SSDA	05.07.2024
3	ISSUED FOR SSDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	DRAFT ISSUE	05.06.2024

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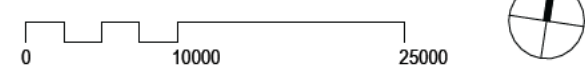
FOR SSDA

Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2
Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales



Drawing Title:
FLOOR PLANS - BUILDING A

Author:
AB
Checker:
MC
Sheet Size:
A1
Drawing Number:
14092_DA012


Scale:
1:500
Issue:
6

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e: sydney@nettletontribe.com.au w: nettletontribe.com.au

1 WAREHOUSE B - GROUND FLOOR PLAN

2 WAREHOUSE B - UNDERCROFT CAR PARKING PLAN
1 : 500

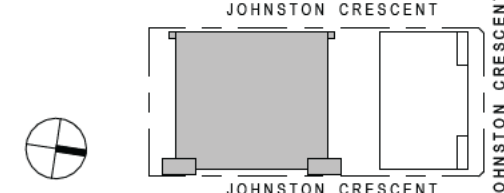
RETAINING WALLS LEGEND	
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL

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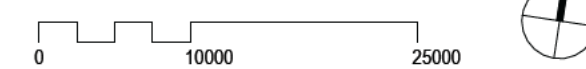
Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales

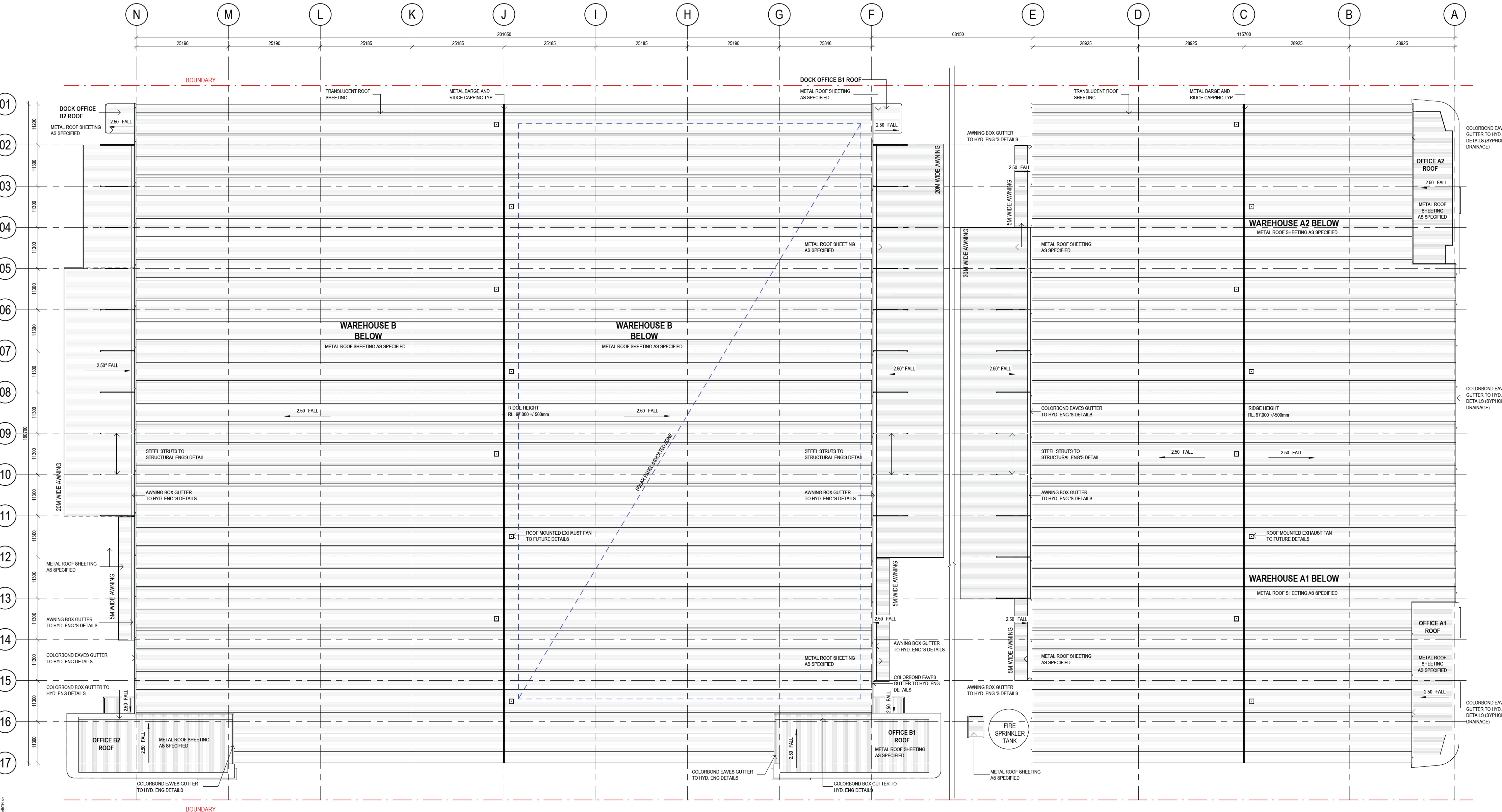


Drawing Title:
FLOOR PLANS - BUILDING B

Author: AB	Checker: MC	Sheet Size: A1	Scale: 1:500
Drawing Number: 14092_DA013			Issue: 6

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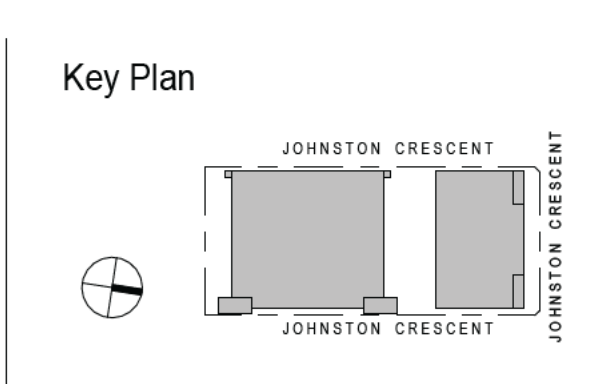
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Issue	Description	Date
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4	ISSUED FOR SSDA	05.07.2024
3	ISSUED FOR SIDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	DRAFT ISSUE	05.06.2024

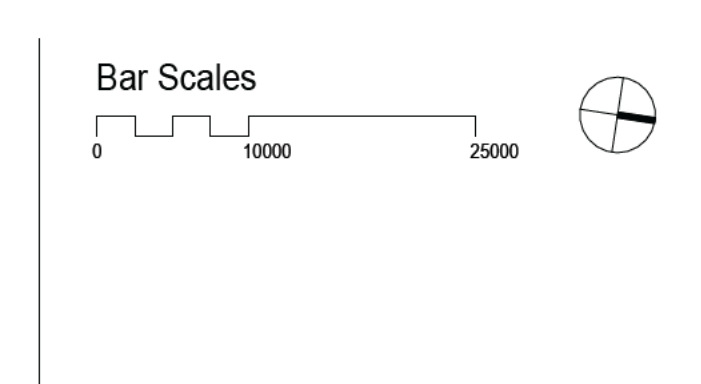
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FOR SSDA



Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW



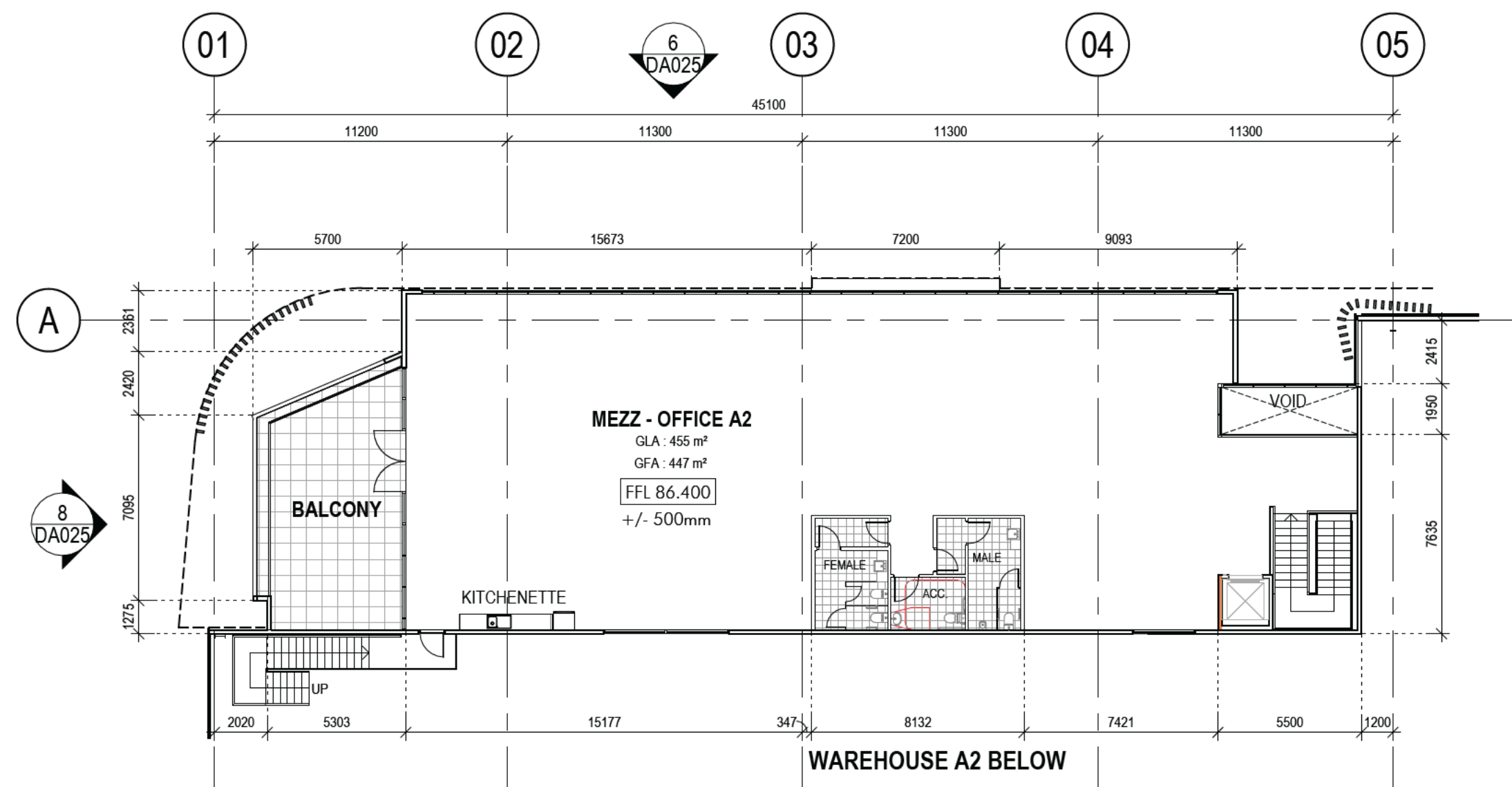
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Author: **AB** Checker: **MC** Sheet Size: **A1** Scale: **1:500**

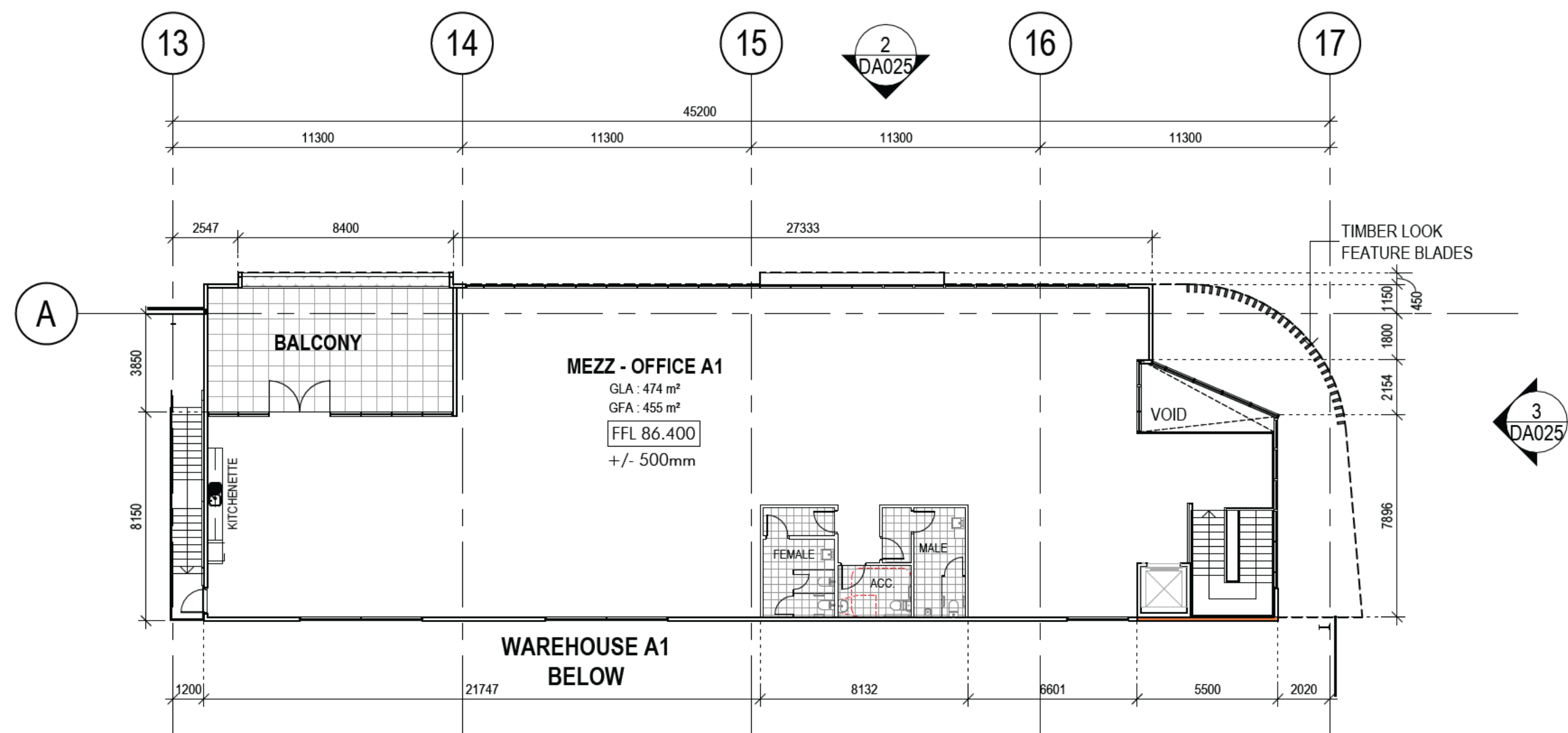
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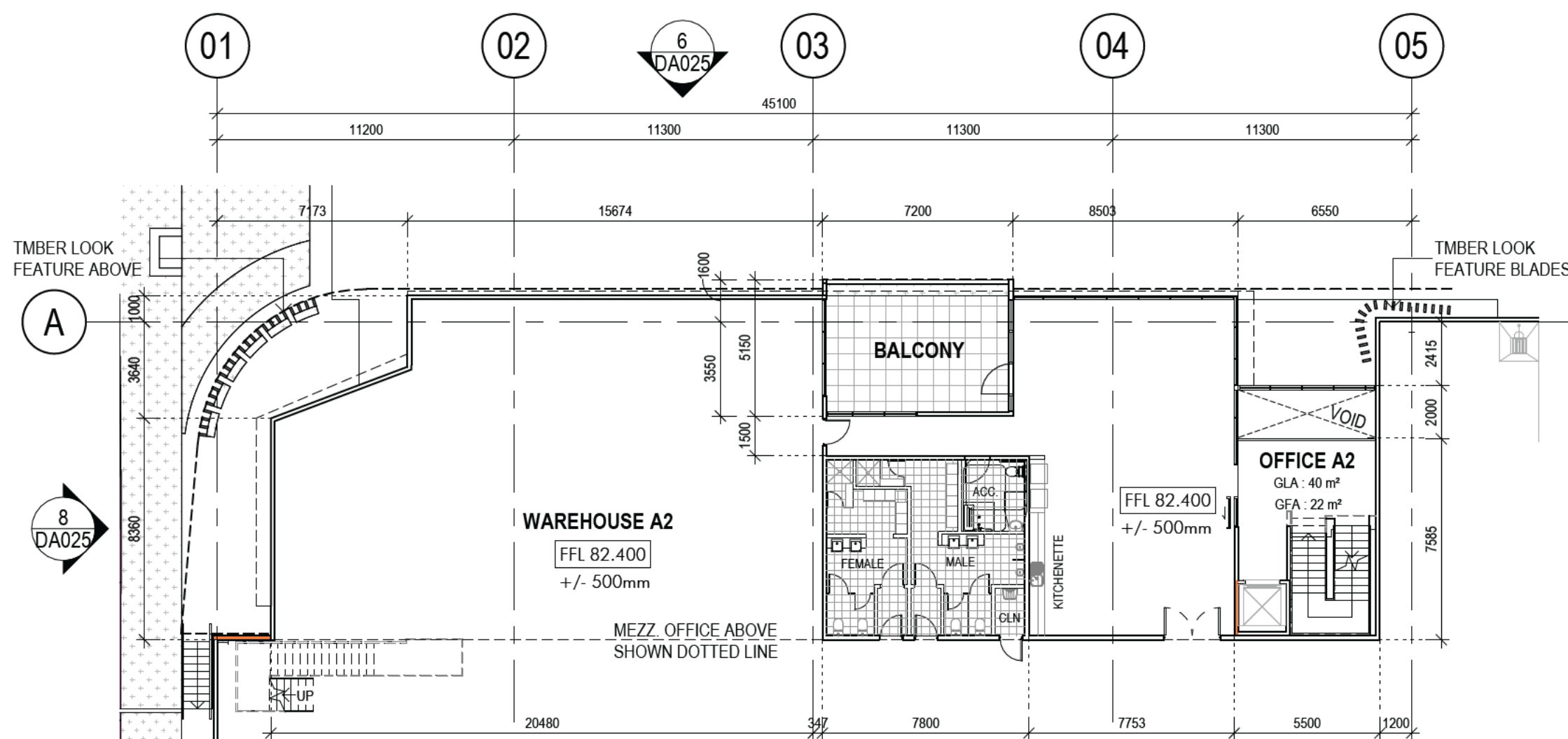
nettleton tribe partnership pty ltd ABN 58 161 683 122
117 Willoughby Road, Crows Nest, NSW 2065
t +61 2 9431 6431
e sydney@nettletontribe.com.au w: nettletontribe.com.au



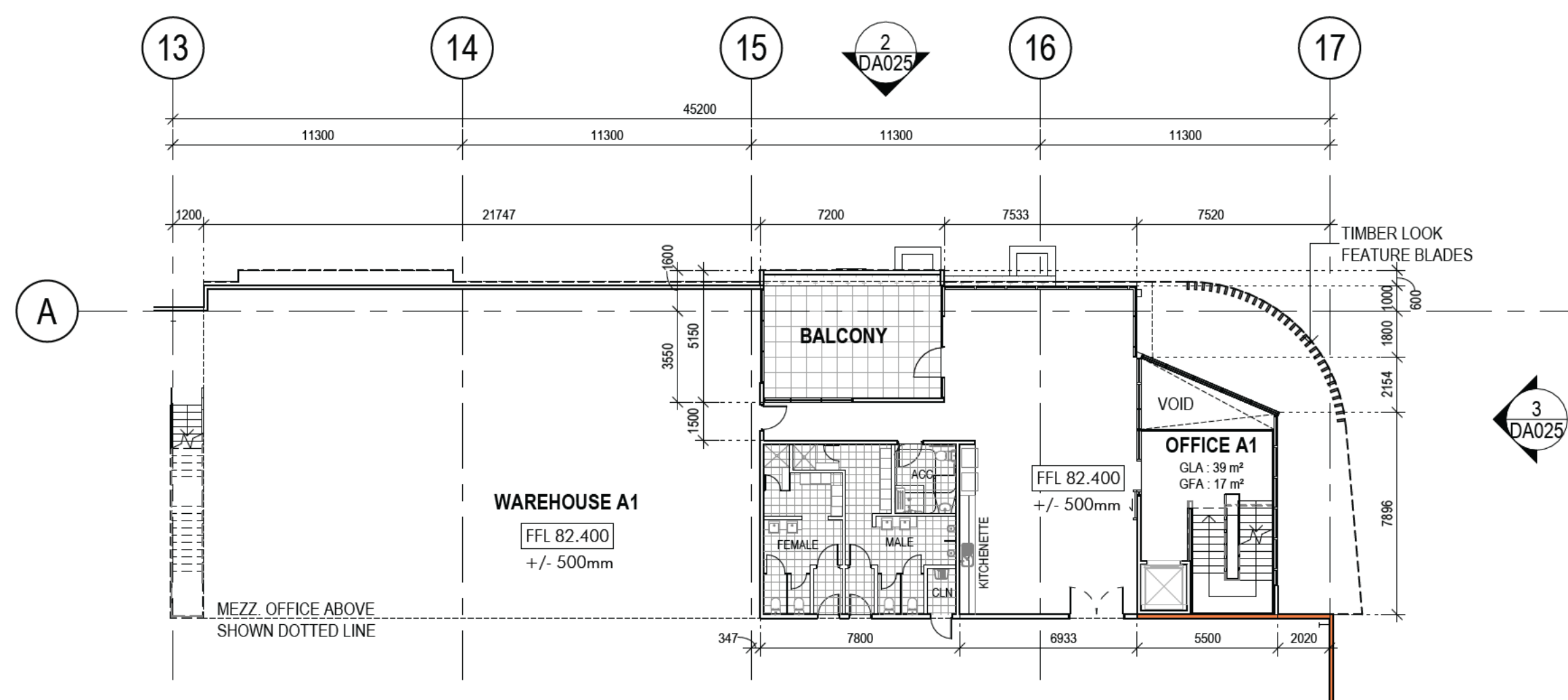
6 OFFICE A2 - MEZZANINE FLOOR PLAN
1:200



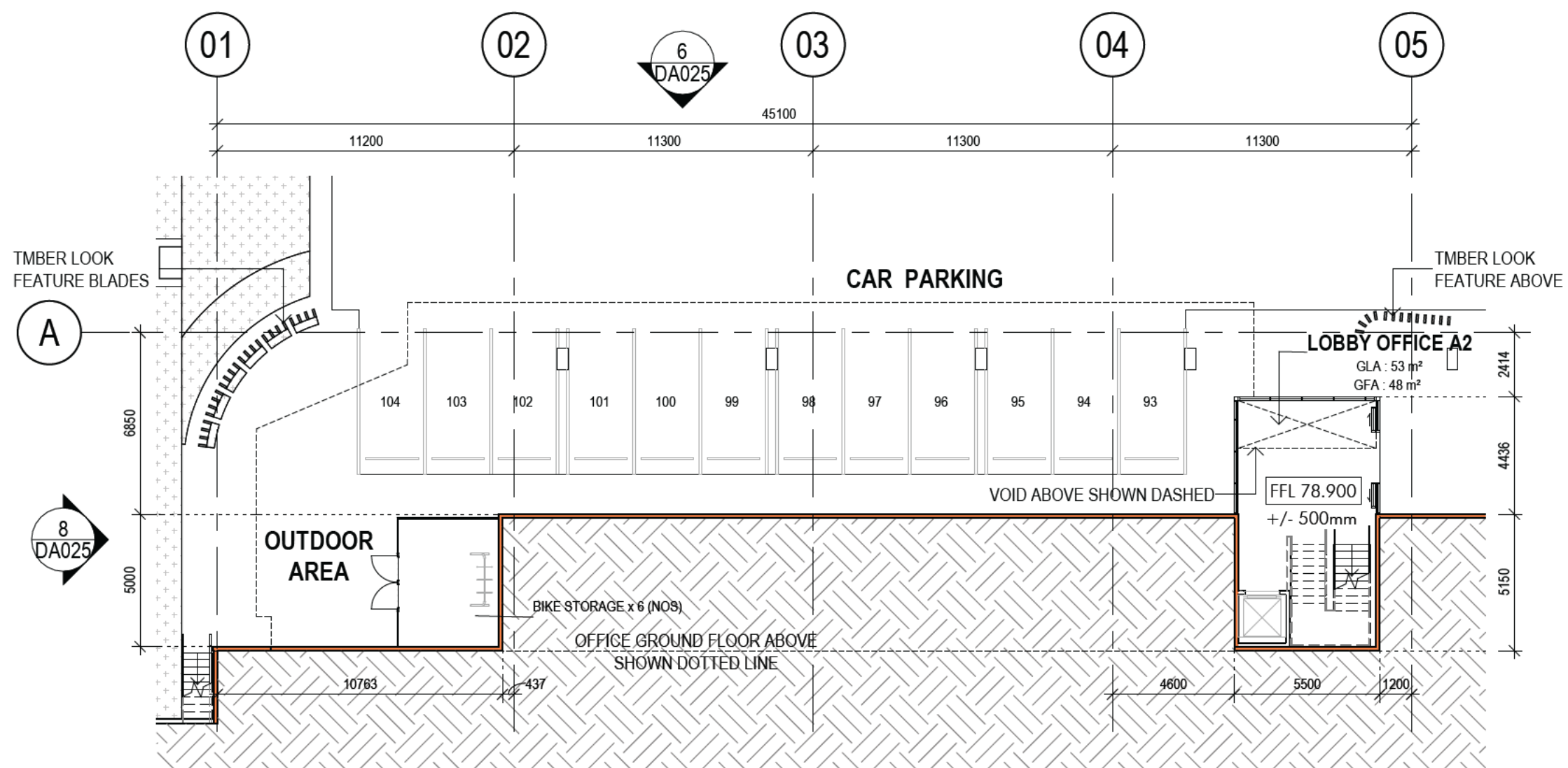
3 OFFICE A1 - MEZZANINE FLOOR PLAN
1:200



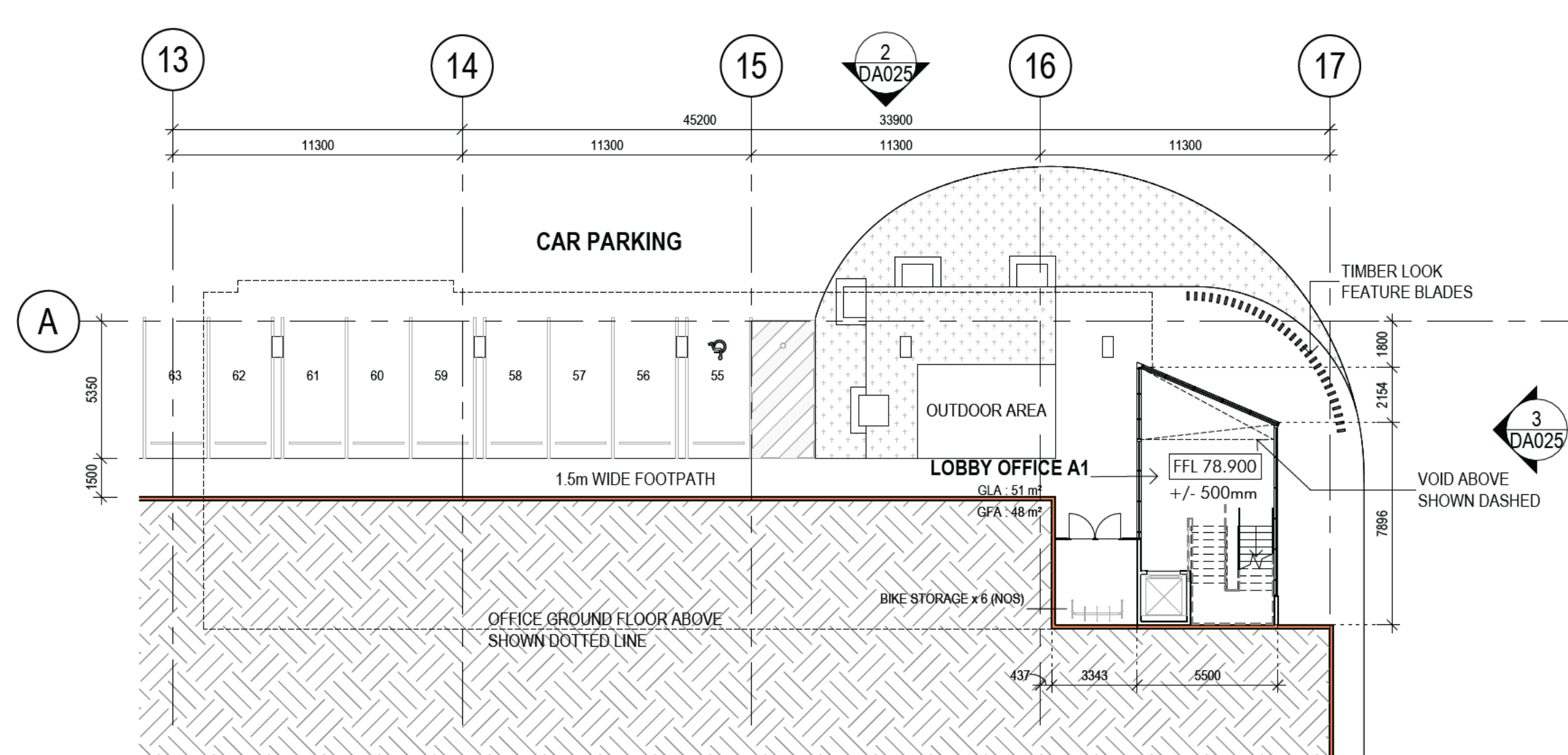
5 OFFICE A2 - GROUND FLOOR PLAN
1:200



2 OFFICE A1 - GROUND FLOOR PLAN
1:200



7 OFFICE A2 - UNDERCROFT CAR PARKING PLAN
1:200



1 OFFICE A1 - UNDERCROFT CAR PARKING PLAN
1:200

RETAINING WALLS LEGEND	
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL

7/1/2024 1:54:01 PM Audited: Docs/14992 ESR BAILEY RD HORSLEY PARK/14992 ESR HORSLEY PARK_ARCH.rvt

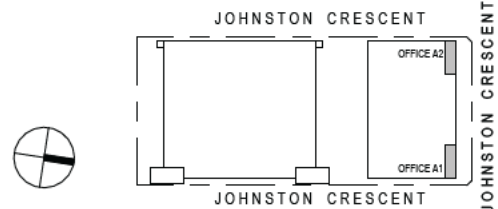


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4	ISSUED FOR SSDA	05.07.2024
3	ISSUED FOR SSDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	ISSUED FOR ISSUE	05.06.2024

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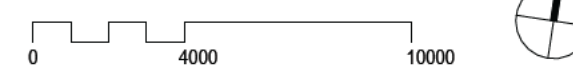
FOR SSDA

Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2
Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales

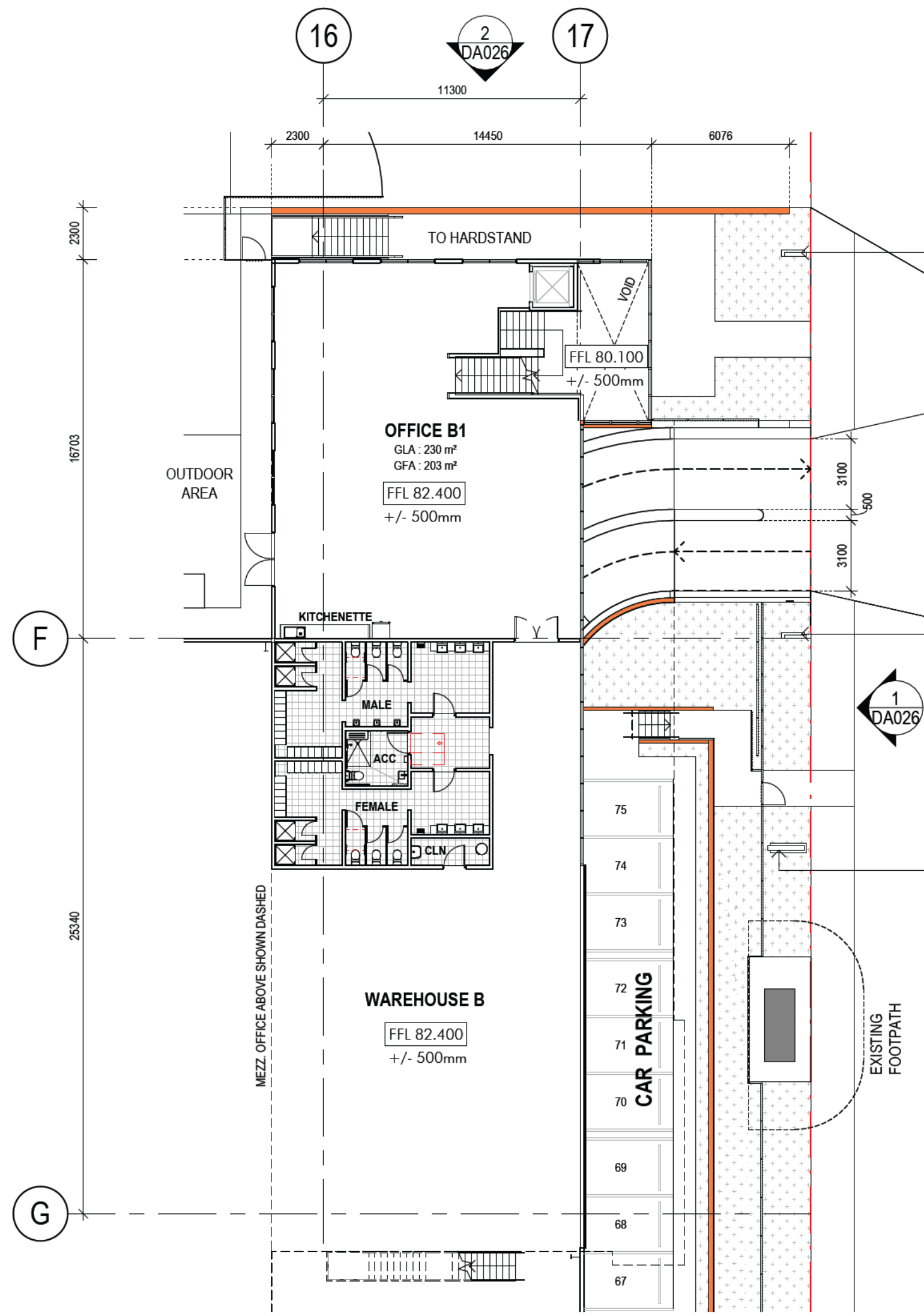


Drawing Title:
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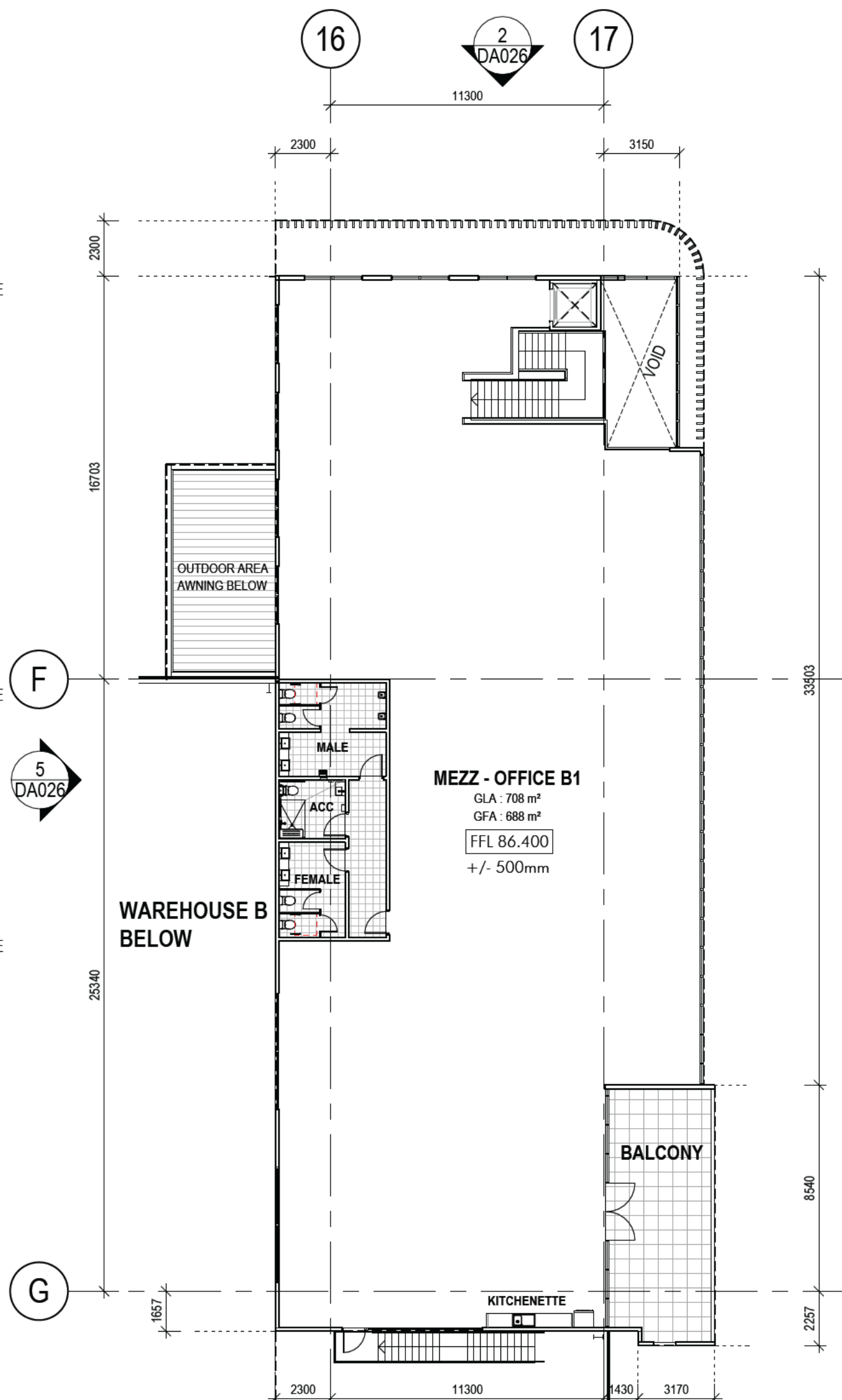
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Drawing Number: 14092_DA015	Issue: 6		

nettletontribe

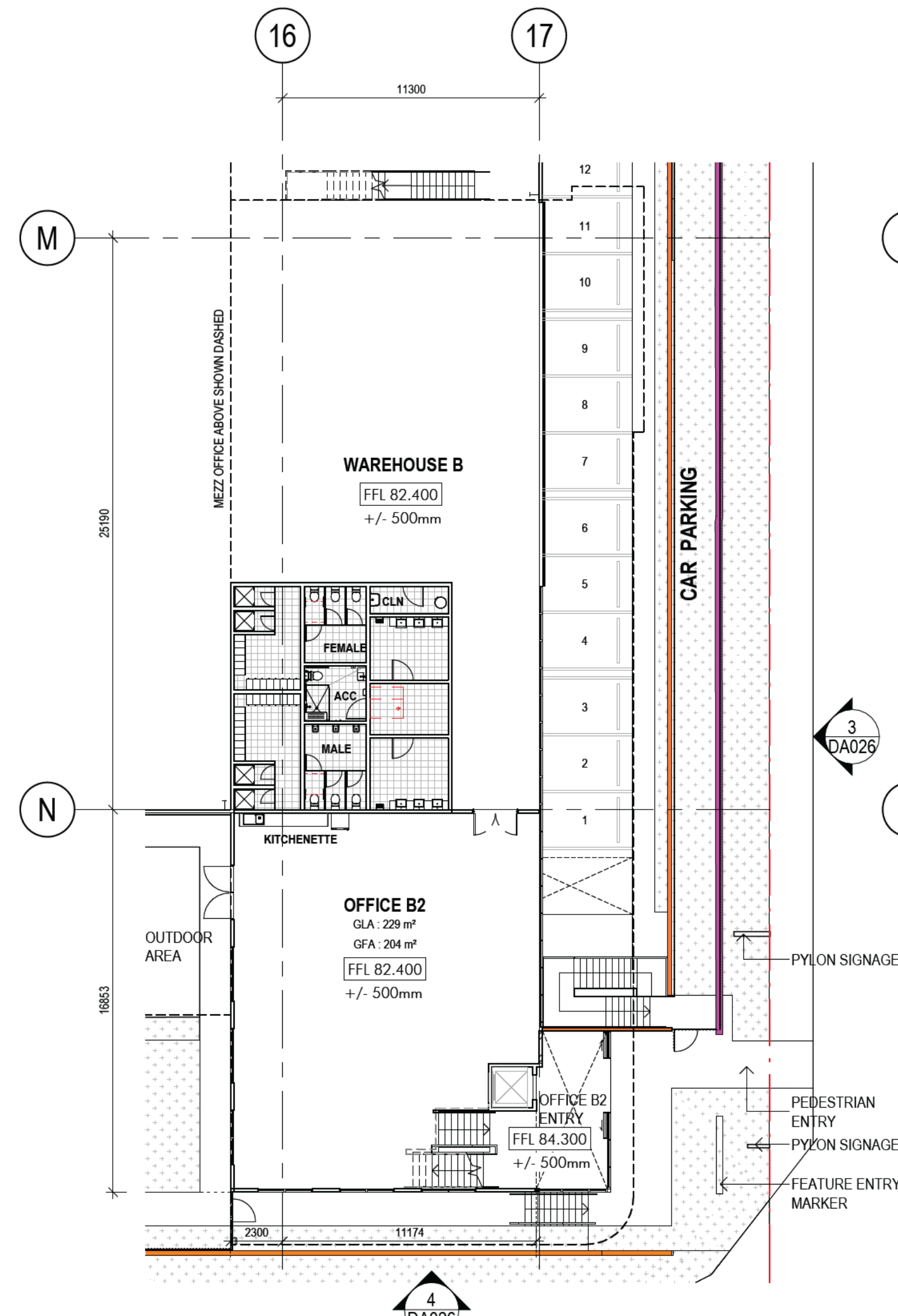
nettleton tribe partnership pty ltd ABN 58 161 683 122
117 Willoughby Road, Crows Nest, NSW 2065
t +61 2 9431 6431
e: sydney@nettletontribe.com.au w: nettletontribe.com.au



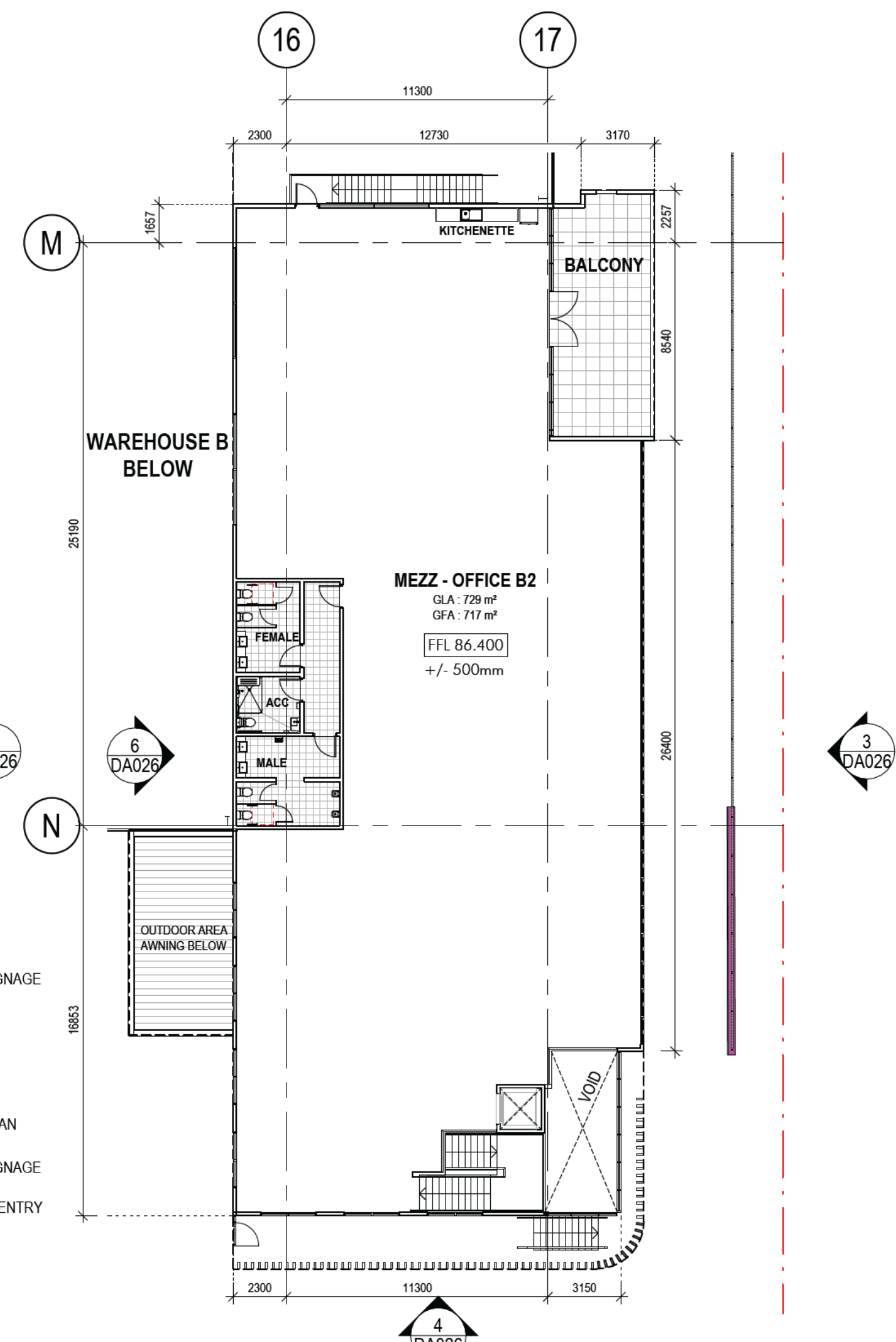
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1: 200



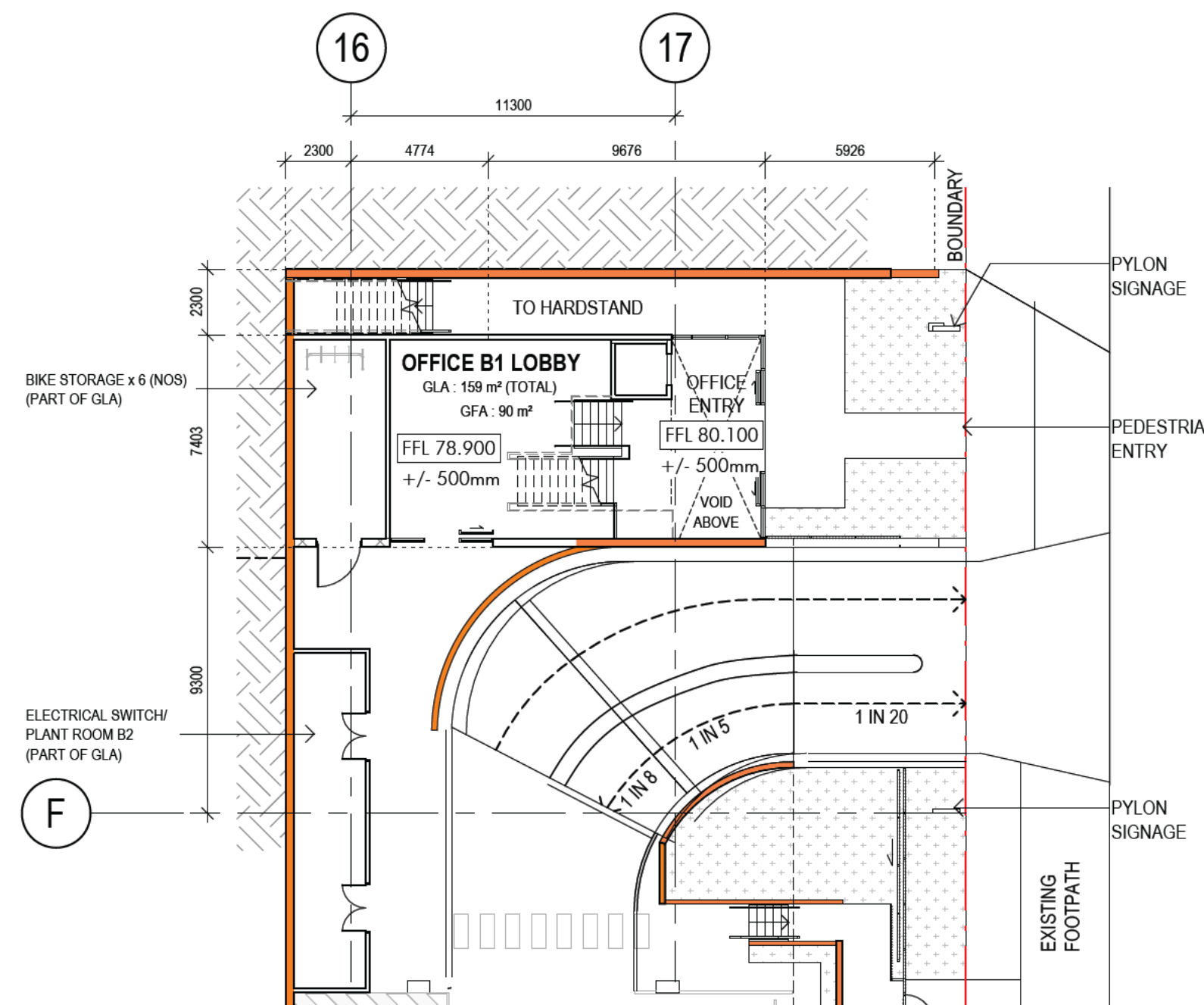
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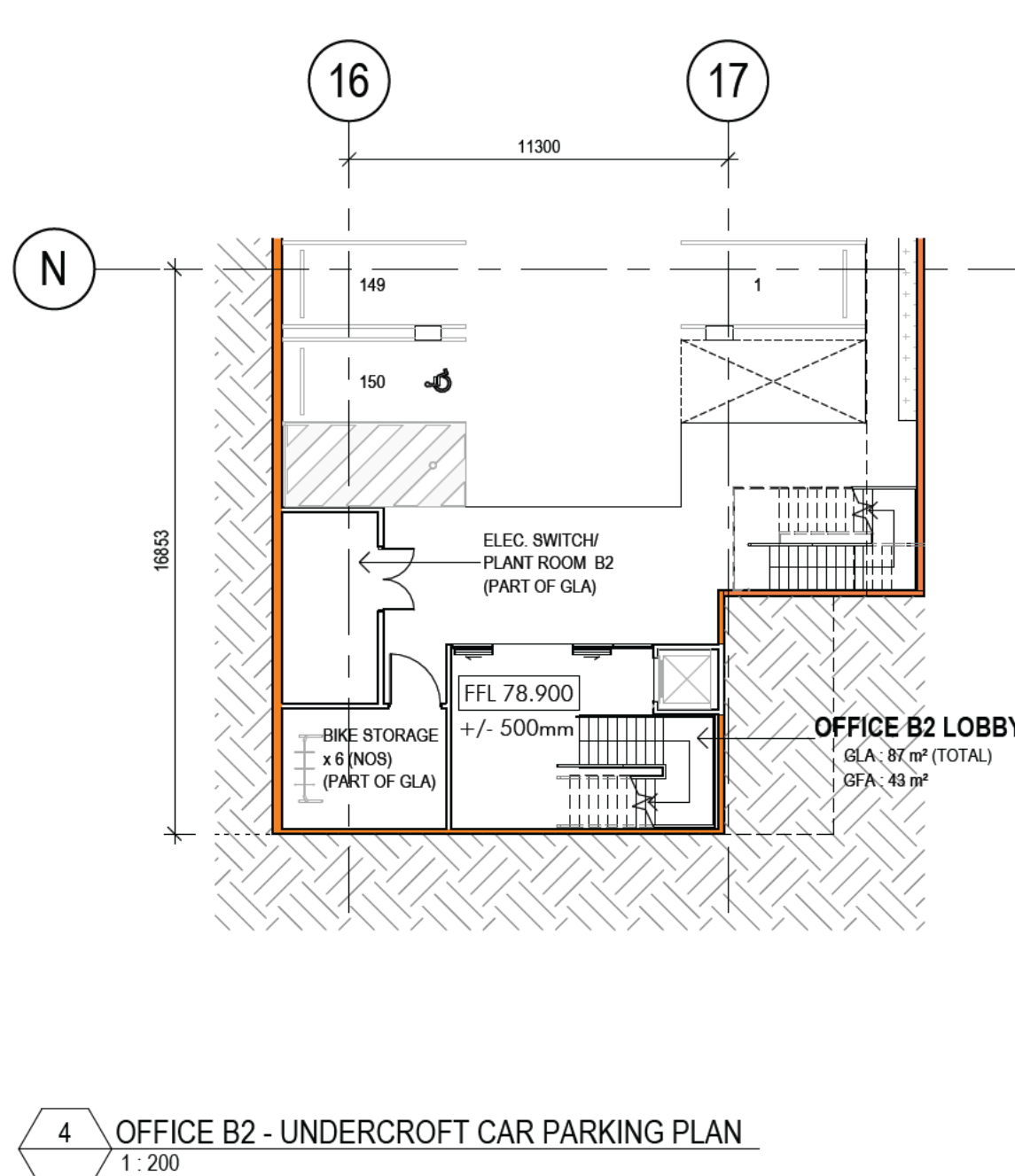
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1: 200



6 OFFICE B2 - MEZZANINE FLOOR PLAN
1: 200



1 OFFICE B1 - UNDERCROFT CAR PARKING PLAN
1: 200



4 OFFICE B2 - UNDERCROFT CAR PARKING PLAN
1: 200

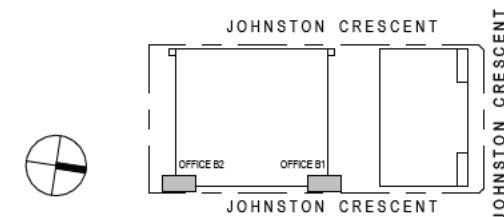
RETAINING WALLS LEGEND	
—	PROPOSED RETAINING WALL
—	EXISTING RETAINING WALL

Issue	Description	Date
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5	REVISED GLA	10.07.2024
4	ISSUED FOR SDA	03.07.2024
3	ISSUED FOR SDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	ISSUED FOR ISSUE	05.06.2024

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FOR SSDA

Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2
Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

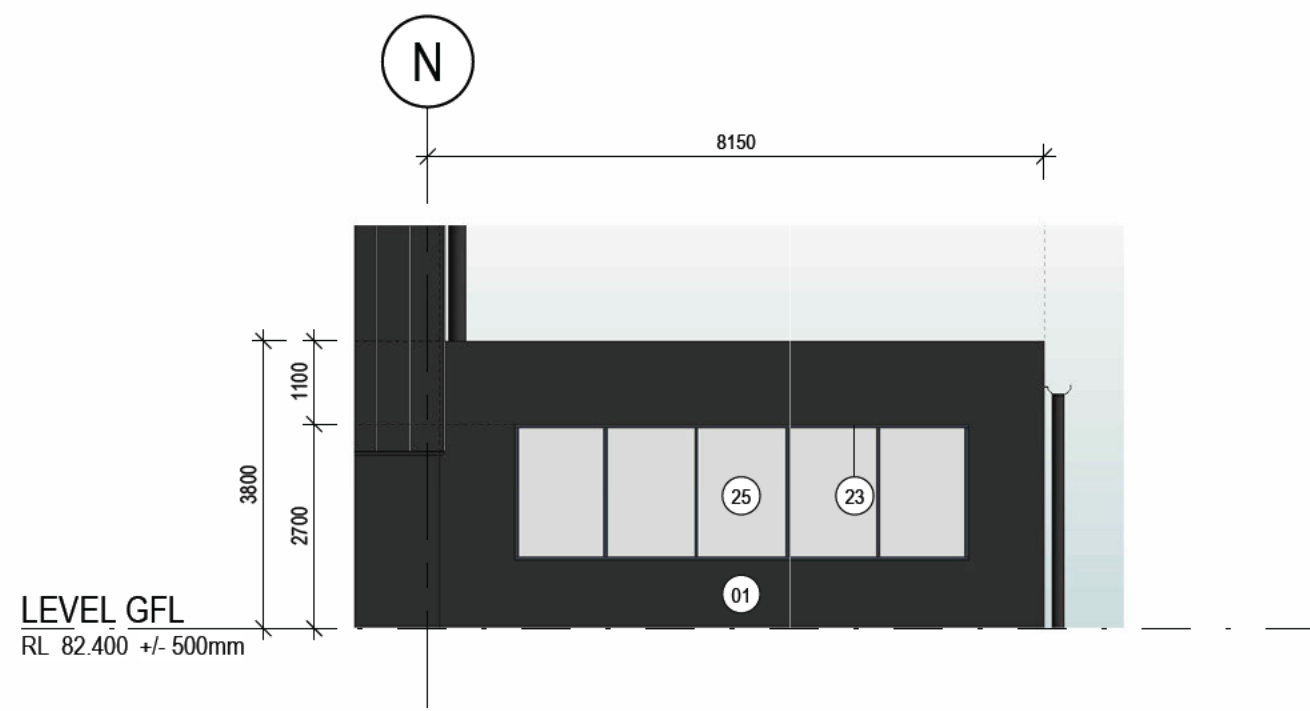
Bar Scales



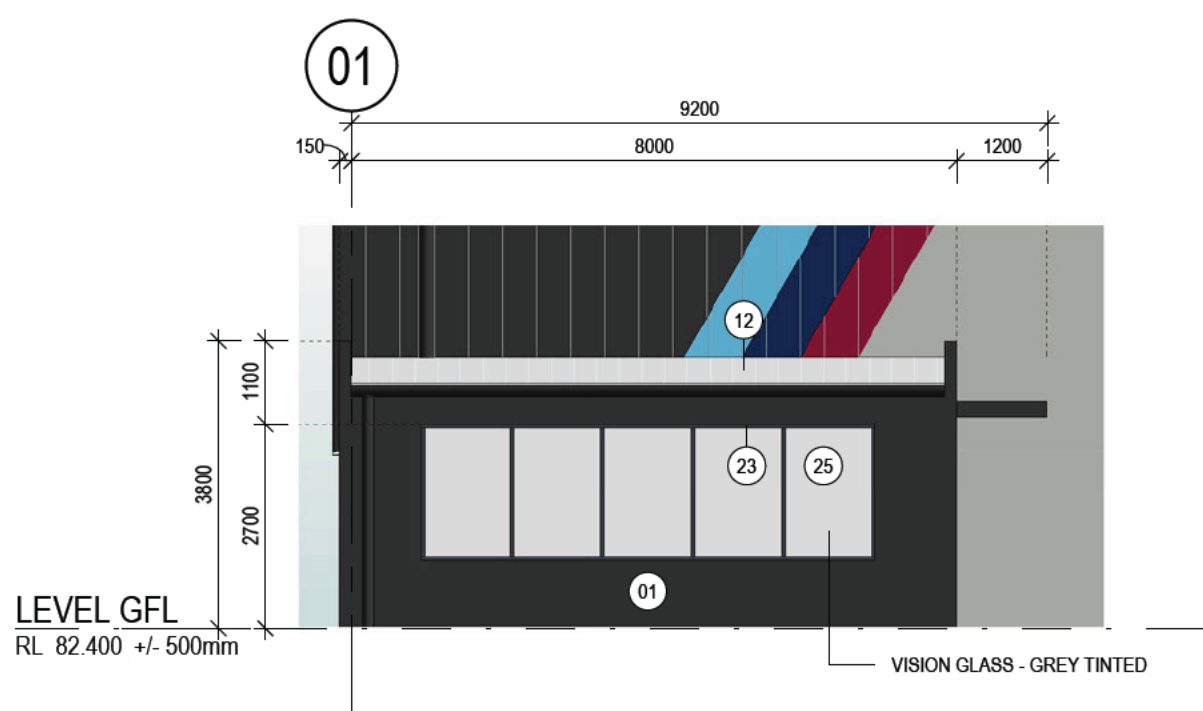
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Author: AB	Checker: MC	Sheet Size: A1	Scale: 1:200
Drawing Number: 14092_DA016	Issue: 6		

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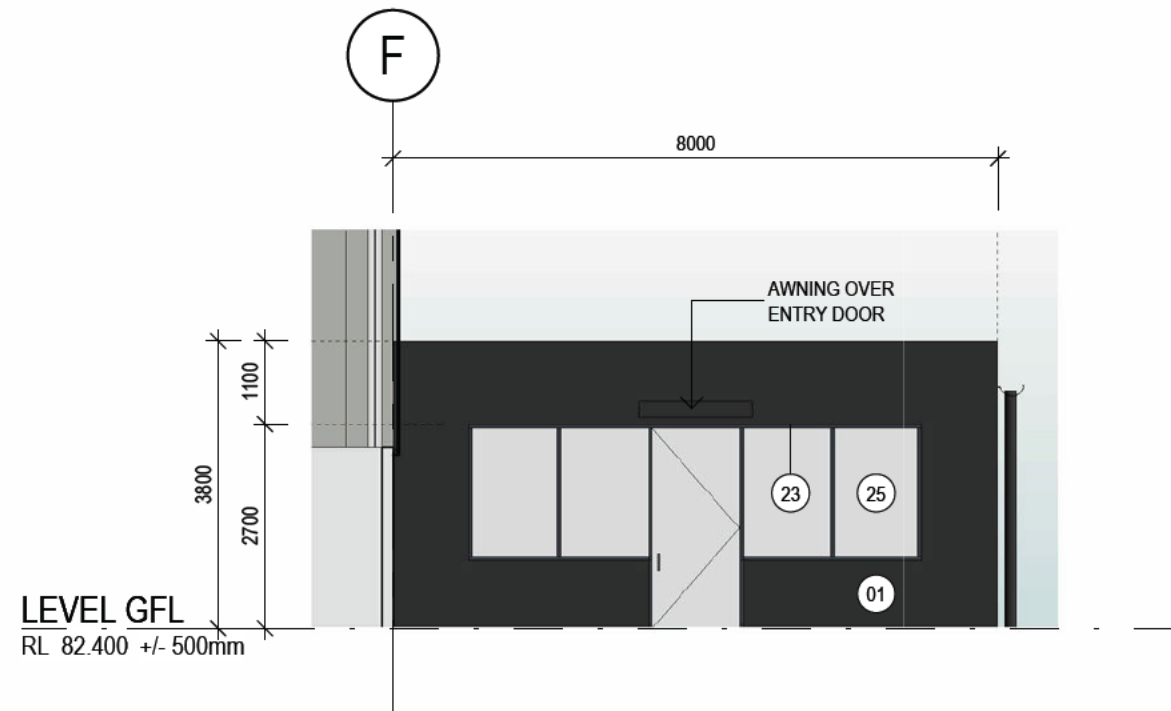
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117 Willoughby Road, Crows Nest, NSW 2065
t +61 2 9431 6431
e: sydney@nettletontribe.com.au w: nettletontribe.com.au



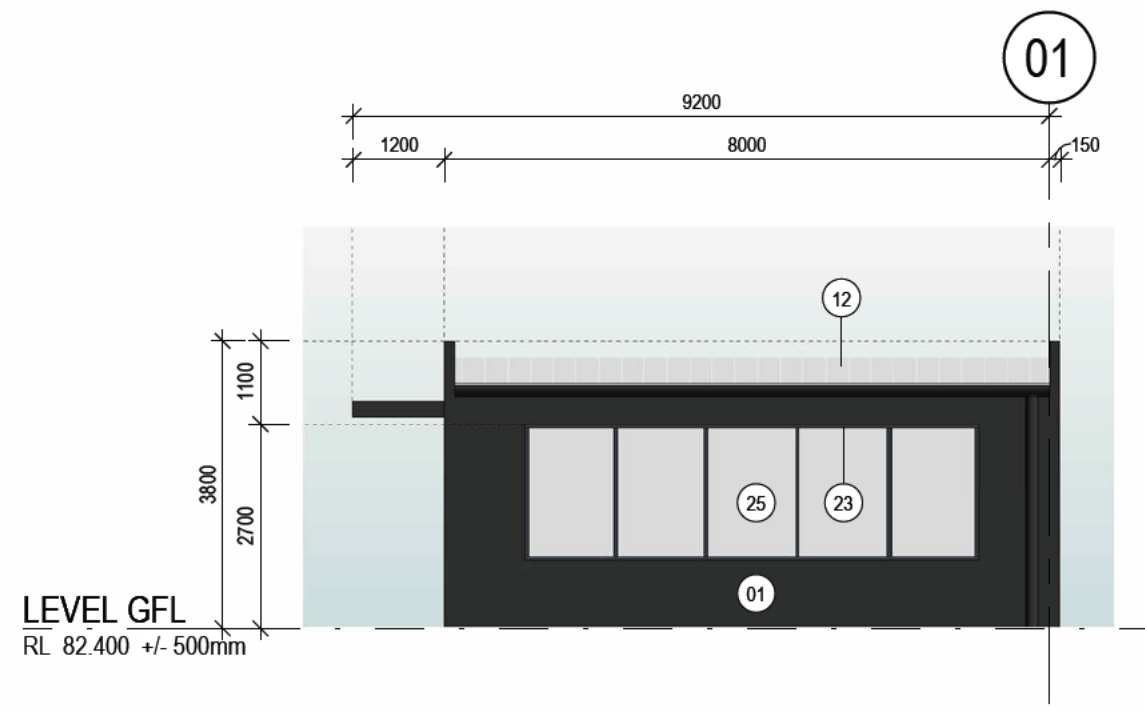
7 DOCK OFFICE B2 WEST ELEVATION
1:100



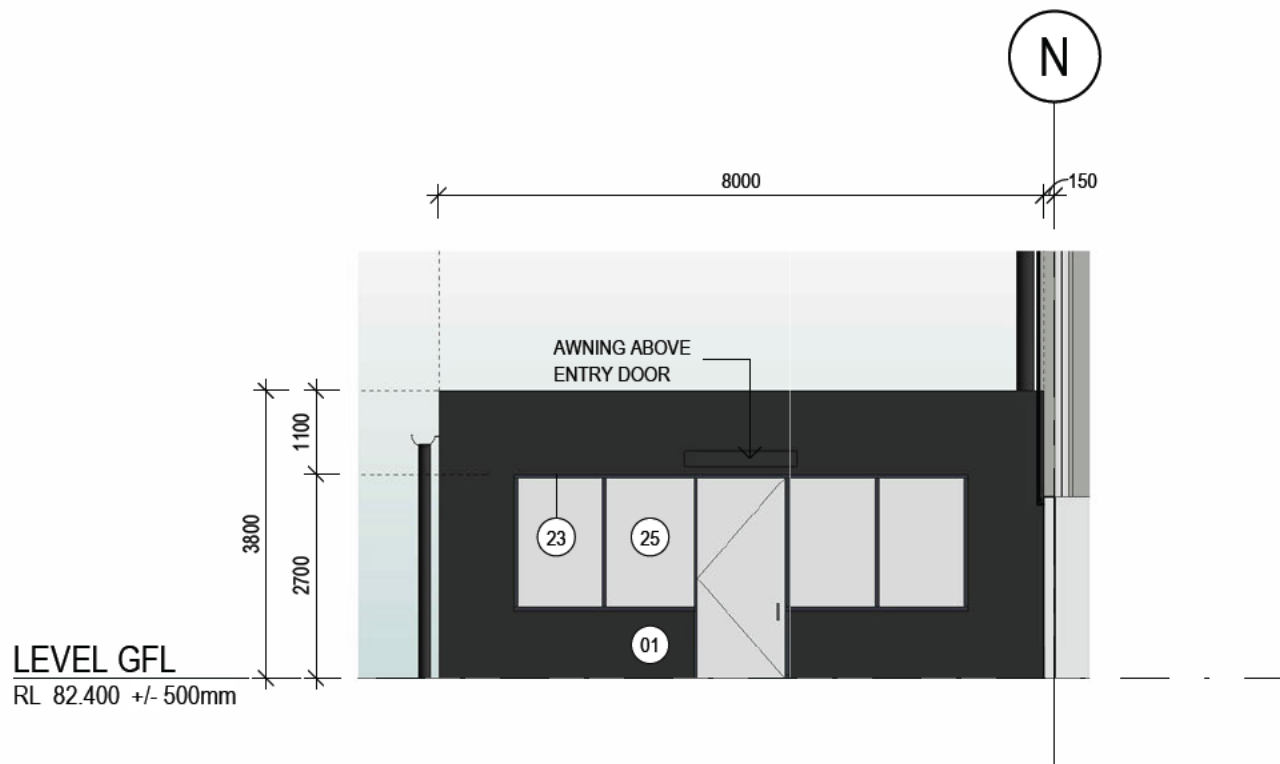
8 DOCK OFFICE B2 SOUTH ELEVATION
1:100



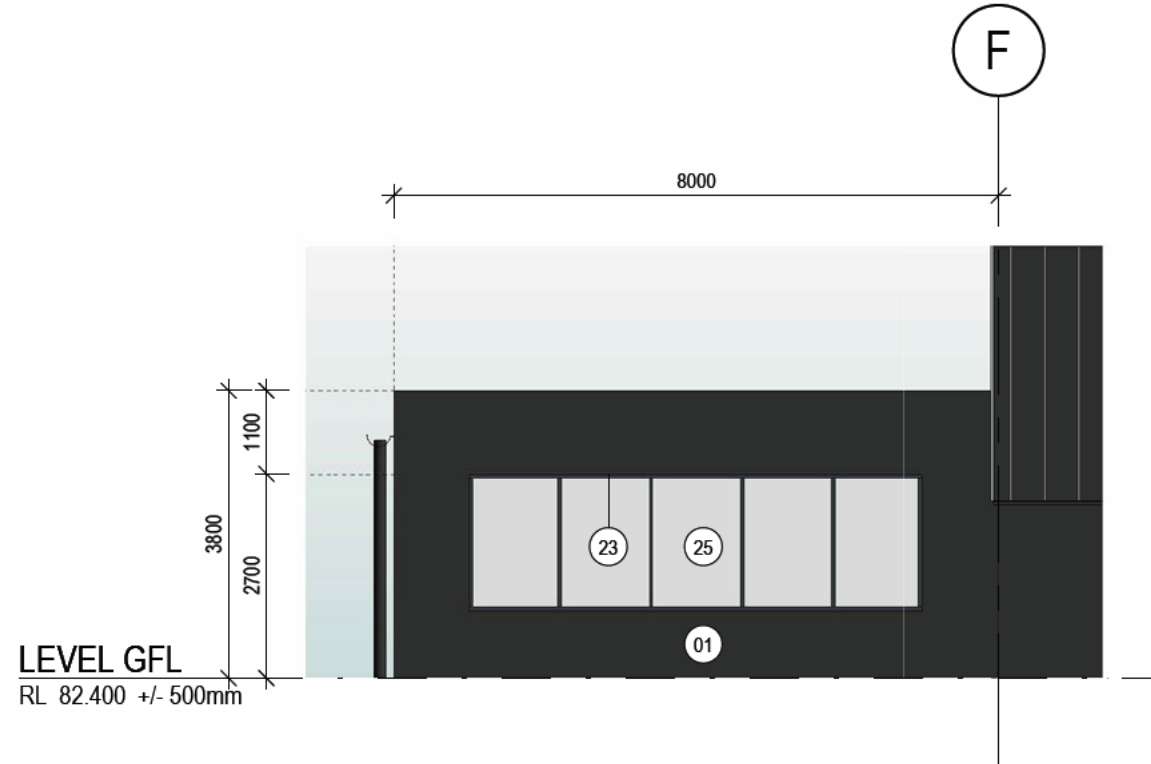
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1:100



3 DOCK OFFICE B1 NORTH ELEVATION
1:100



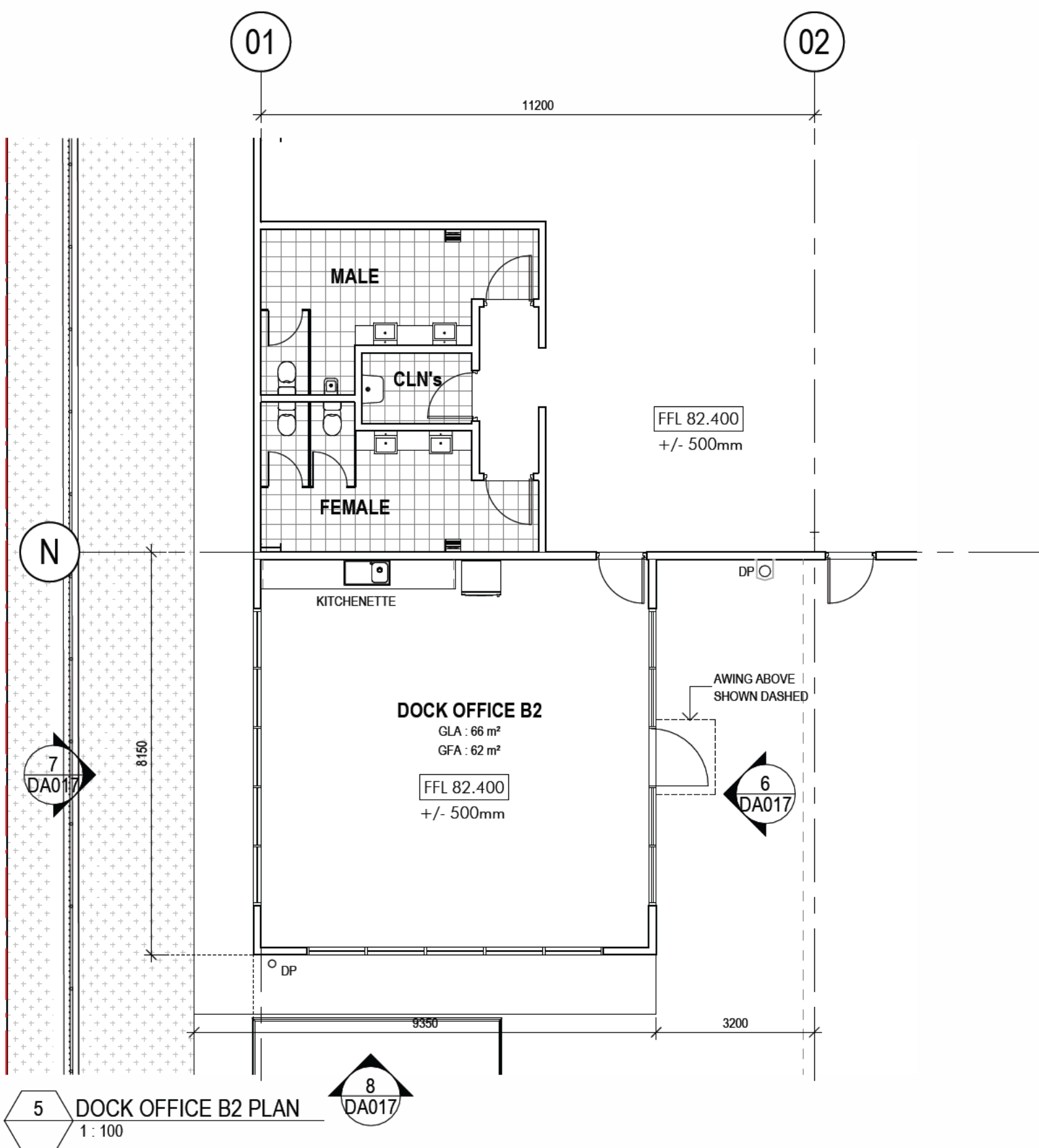
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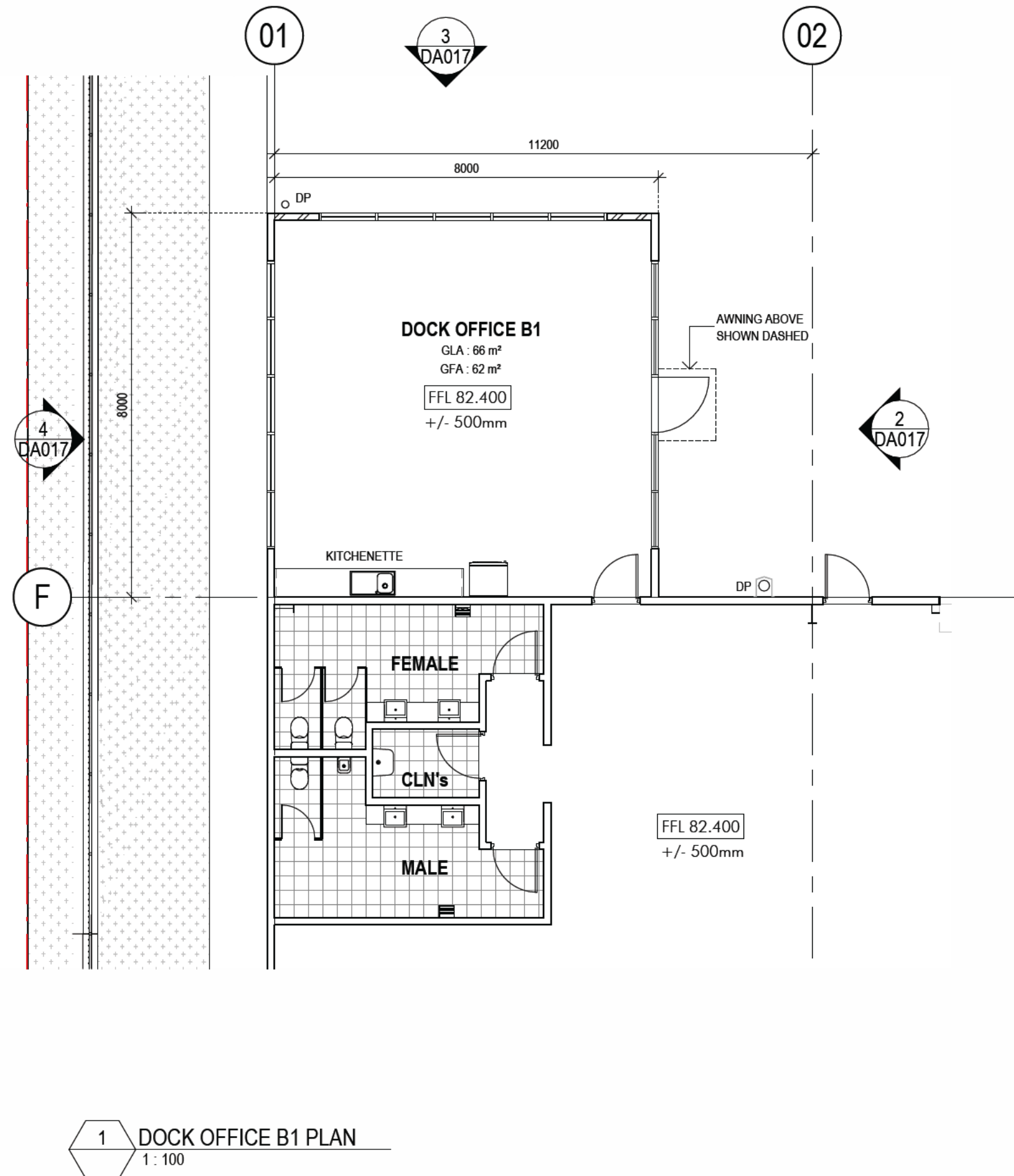
4 DOCK OFFICE B1 WEST ELEVATION
1:100

OFFICES

- 21. EXTERNAL GRADE FC SHEET - COLORBOND 'MONUMENT'
- 22. COLOURBACKED GLASS - COLORBOND 'WOODLAND GREY'
- 23. ALUMINIUM FRAMED GLAZING - COLOUR MONUMENT POWDERCOATED SATIN
- 24. PREFINISHED TIMBER LOOK FC SHEET
- 25. VISION GLASS - GREY TINTED
- 26. TIMBER-LOOK FEATURE BLADES
- 27. TIMBER-LOOK EXTERNAL GRADE SOFFIT
- 28. PARAPET CAPPING - COLOUR TO MATCH COLORBOND 'MONUMENT'
- 01. PRECAST CONCRETE PAINT FINISH - COLORBOND 'MONUMENT'
- 07. PROFILED METAL SHEETING - COLORBOND 'SHALE GREY'
- 12. ROOF SHEETING - COLORBOND 'DOVER WHITE'

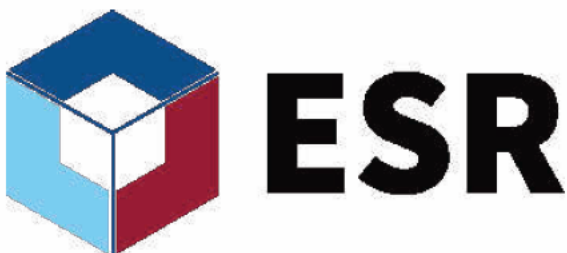


5 DOCK OFFICE B2 PLAN
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1 DOCK OFFICE B1 PLAN
1:100

Client

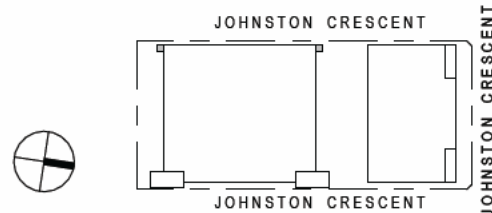


Issue	Description	Date
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3	ISSUED FOR SSDA	03.07.2024
2	ISSUED FOR COORDINATION	14.06.2024
1	DRAFT ISSUE	05.06.2024

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FOR SSDA

Key Plan



Project Name
HORSLEY LOGISTICS PARK STAGE 2
Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales



Drawing Title:
DOCK OFFICE FLOOR PLANS & ELEVATIONS - BUILDING B

Author:
AB
Drawing Number:
14092_DA017

Checker:
MC

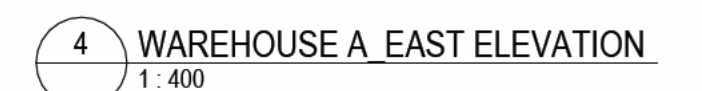
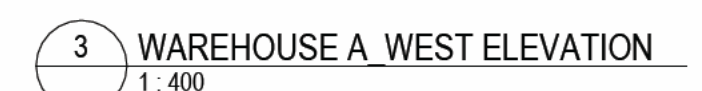
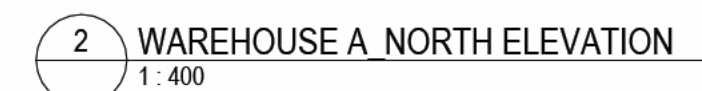
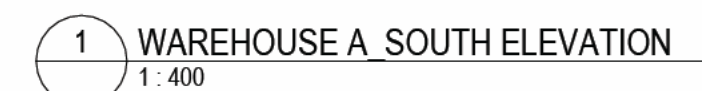
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Issue:
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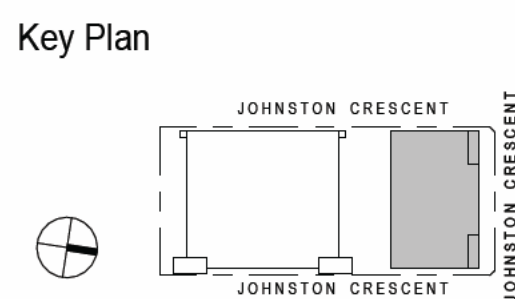
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t +61 2 9431 6431
e sydney@nettletontribe.com.au w: nettletontribe.com.au



- | | |
|---|---|
|  | 01 PRECAST CONCRETE PAINT FINISH - COLORBOND 'MONUMENT' |
|  | 02 PRECAST CONCRETE PAINT FINISH - COLORBOND 'SHALE GREY' |
|  | 03 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR LIGHT BLUE (PMS 297 C) |
|  | 04 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR BLUE (PMS 295 C) |
|  | 05 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR RED (PMS 1955 C) |
|  | 06 PROFILED METAL SHEETING - COLORBOND 'MONUMENT' |
|  | 07 PROFILED METAL SHEETING - COLORBOND 'SHALE GREY' |
|  | 08 PROFILED METAL SHEETING - COLOUR TO MATCH ESR LIGHT BLUE (PMS 297 C) |
|  | 09 PROFILED METAL SHEETING - COLOUR TO MATCH ESR BLUE (PMS 295 C) |
|  | 10 PROFILED METAL SHEETING - COLOUR TO MATCH ESR RED (PMS 1955 C) |
|  | 11. TRANSLUCENT ROOF SHEETING |
|  | 12. ROOF SHEETING - COLORBOND "DOVER WHITE" |
|  | 13. DOWNPIPES, FASCIA & CAPPING - COLORBOND 'MONUMENT' |
|  | 14. ROLLER SHUTTER DOORS - COLORBOND 'MONUMENT' |
|  | 15. POWDERCOATED FIRE SPRINKLER TANK - COLORBOND "MONUMENT" |
|  | 16. PAINTED PA DOORS - COLORBOND 'SHALE GREY' |
|  | 17. TOEMOULD TO MATCH ADJACENT METAL SHEET ABOVE |

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Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW



Author: AB Checker: MC Sheet Size: A1

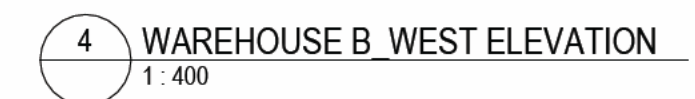
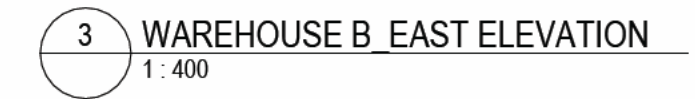
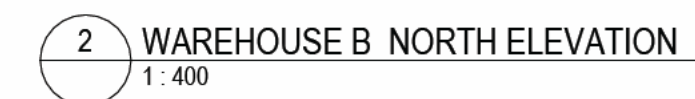
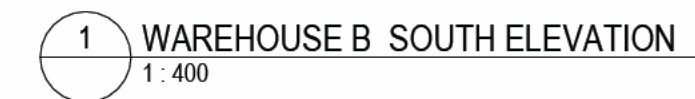
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Issue:
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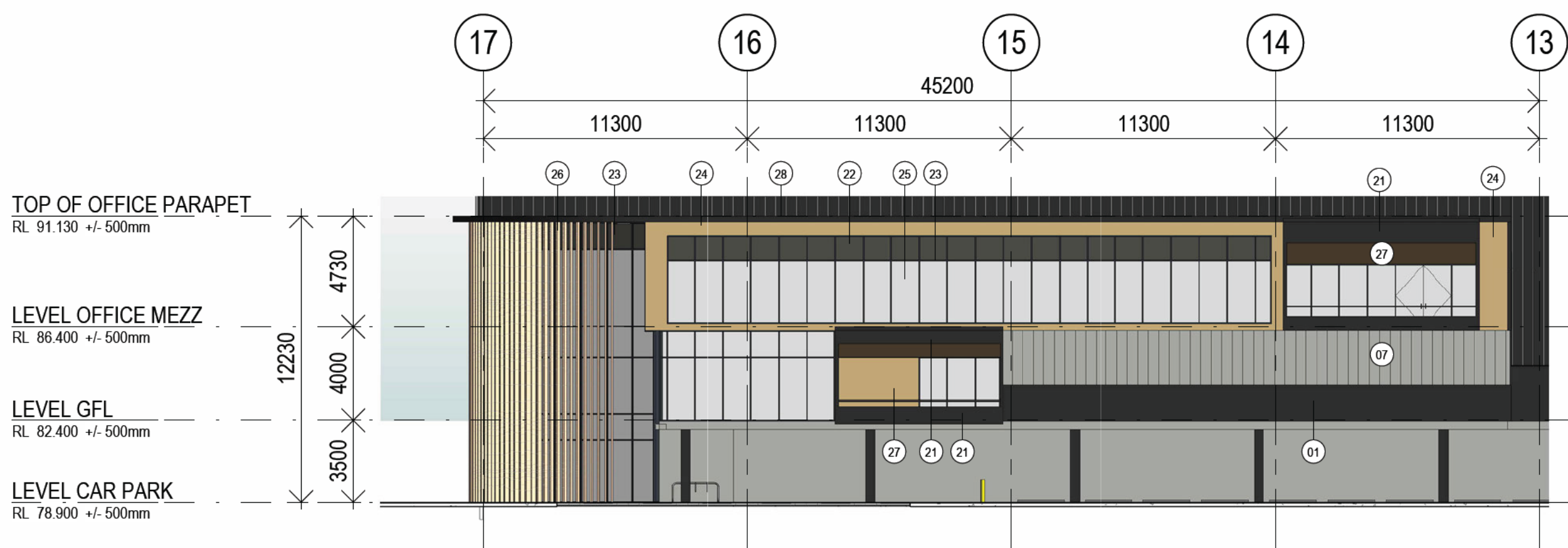
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t +61 2 9431 6431
e: sydney@nettletontribe.com.au w: nettletontribe.com.au



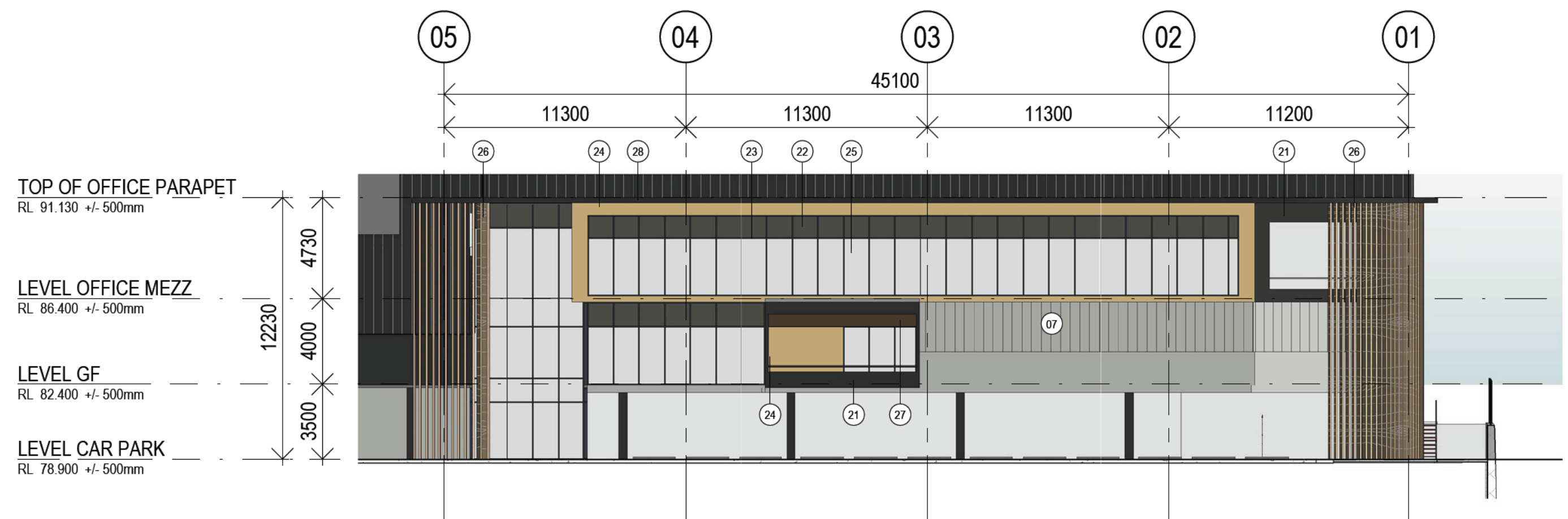
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|  | 02 PRECAST CONCRETE PAINT FINISH - COLORBOND "SHALE GREY" |
|  | 03 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR LIGHT BLUE (PMS 297 C) |
|  | 04 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR BLUE (PMS 295 C) |
|  | 05 PRECAST CONCRETE PAINT FINISH - COLOUR TO MATCH ESR RED (PMS 1855 C) |
|  | 06 PROFILED METAL SHEETING - COLORBOND "MONUMENT" |
|  | 07 PROFILED METAL SHEETING - COLORBOND "SHALE GREY" |
|  | 08 PROFILED METAL SHEETING - COLOUR TO MATCH ESR LIGHT BLUE (PMS 297 C) |
|  | 09 PROFILED METAL SHEETING - COLOUR TO MATCH ESR BLUE (PMS 295 C) |
|  | 10 PROFILED METAL SHEETING - COLOUR TO MATCH ESR RED (PMS 1855 C) |
|  | 11 TRANSLUCENT ROOF SHEETING |
|  | 12 ROOF SHEETING - COLORBOND "DOVER WHITE" |
|  | 13 DOWNPIPES, FASCIA & CAPPING - COLORBOND "MONUMENT" |
|  | 14 ROLLER SHUTTER DOORS - COLORBOND "MONUMENT" |
|  | 15 POWDERCOATED FIRE SPRINKLER TANK - COLORBOND "MONUMENT" |
|  | 16 PAINTED PA DOORS - COLORBOND "SHALE GREY" |
|  | 17 TOEMOULD TO MATCH ADJACENT METAL SHEET ABOVE |

OFFICES

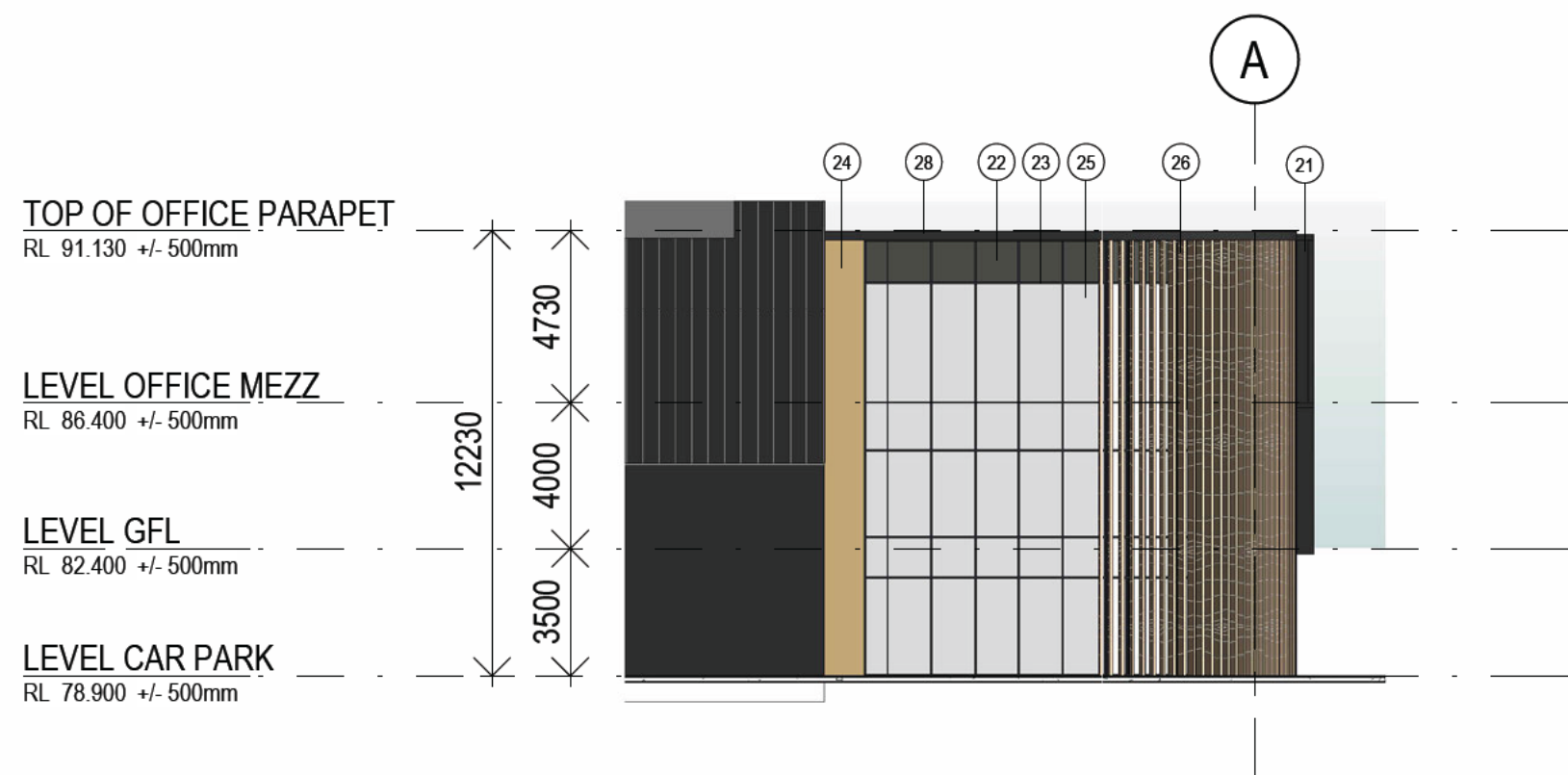
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'MONUMENT' |
|  | 22. COLOURBACKED GLASS - COLORBOND
'WOODLAND GREY' |
|  | 23. ALUMINIUM FRAMED GLAZING - COLOUR
MONUMENT POWDERCOATED SATIN |
|  | 24. PREFINISHED TIMBER LOOK FC SHEET |
|  | 25. VISION GLASS - GREY TINTED |
|  | 26. TIMBER LOOK FEATURE BLADES |
|  | 27. TIMBER LOOK EXTERNAL GRADE SOFFIT |
|  | 28. PARAPET CAPPING - COLOUR TO
MATCH COLORBOND 'MONUMENT' |
|  | 01. PRECAST CONCRETE PAINT FINISH -
COLORBOND 'MONUMENT' |
|  | 07. PROFILED METAL SHEETING - COLORBOND
'SHALE GREY' |
|  | 12. ROOF SHEETING - COLORBOND 'DOVER
WHITE' |



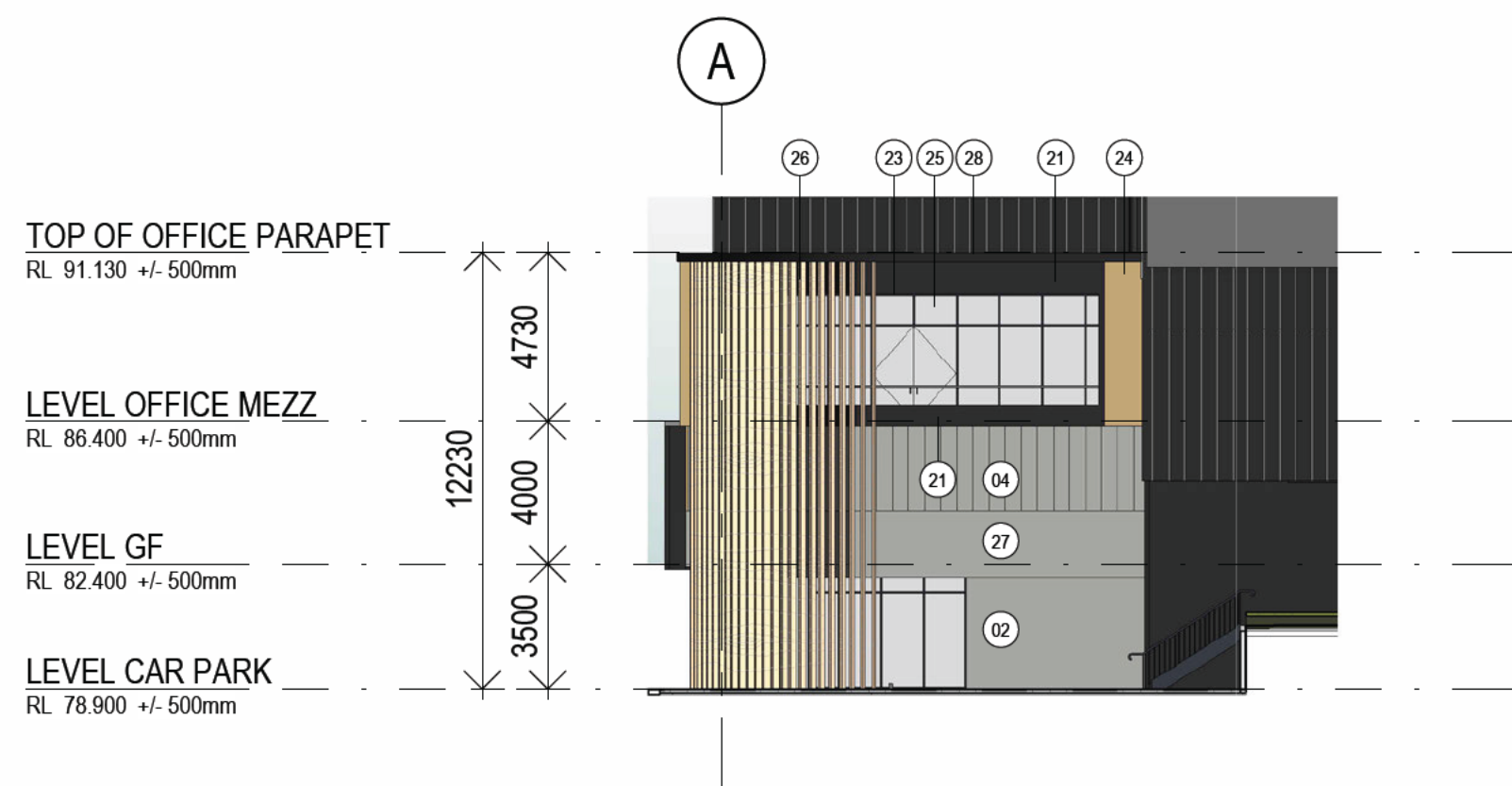
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1:200



6 OFFICE A2_ NORTH ELEVATION
1:200

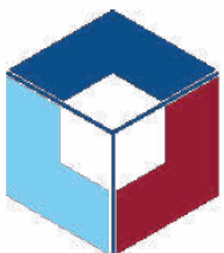


3 OFFICE A1 EAST ELEVATION
1:200



8 OFFICE A2 WEST ELEVATION
1:200

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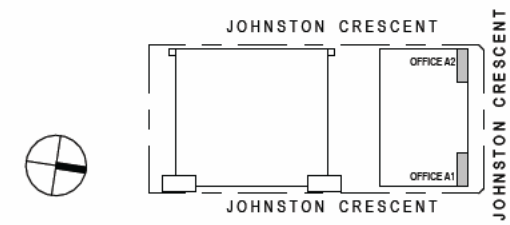
ESR

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Key Plan



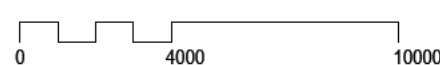
Project Name

HORSLEY LOGISTICS PARK STAGE 2

Project Address

3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales



Drawing Title:

OFFICE ELEVATIONS - BUILDING A

Author:

AB

Drawing Number: **14002 DA025**

Checker

MC

DA025

Scale:

1:200

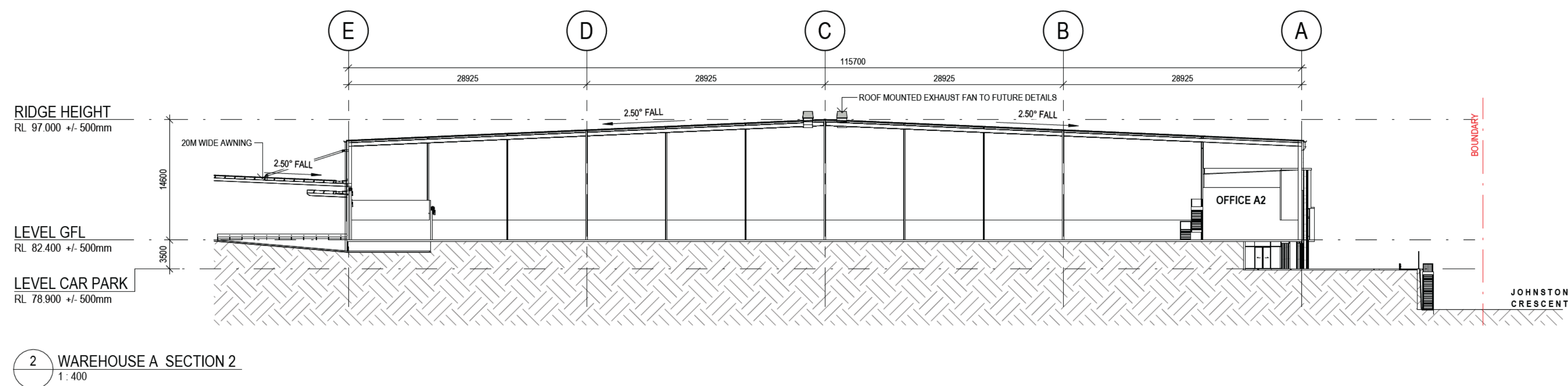
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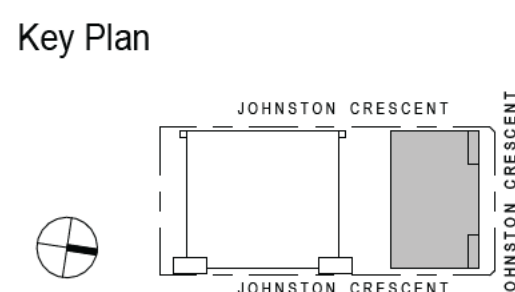
nettleton tribe partnership Pty Ltd ABN 58 161 683 122

117 Willoughby Road, Crows Nest, NSW 2065

t: +61 2 9431 6431
e: svdney@nettletontribe.com.au w: nettletontribe.com.au



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Bar Scales

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e: sydneyv@nettletontribe.com.au w: nettletontribe.com.au



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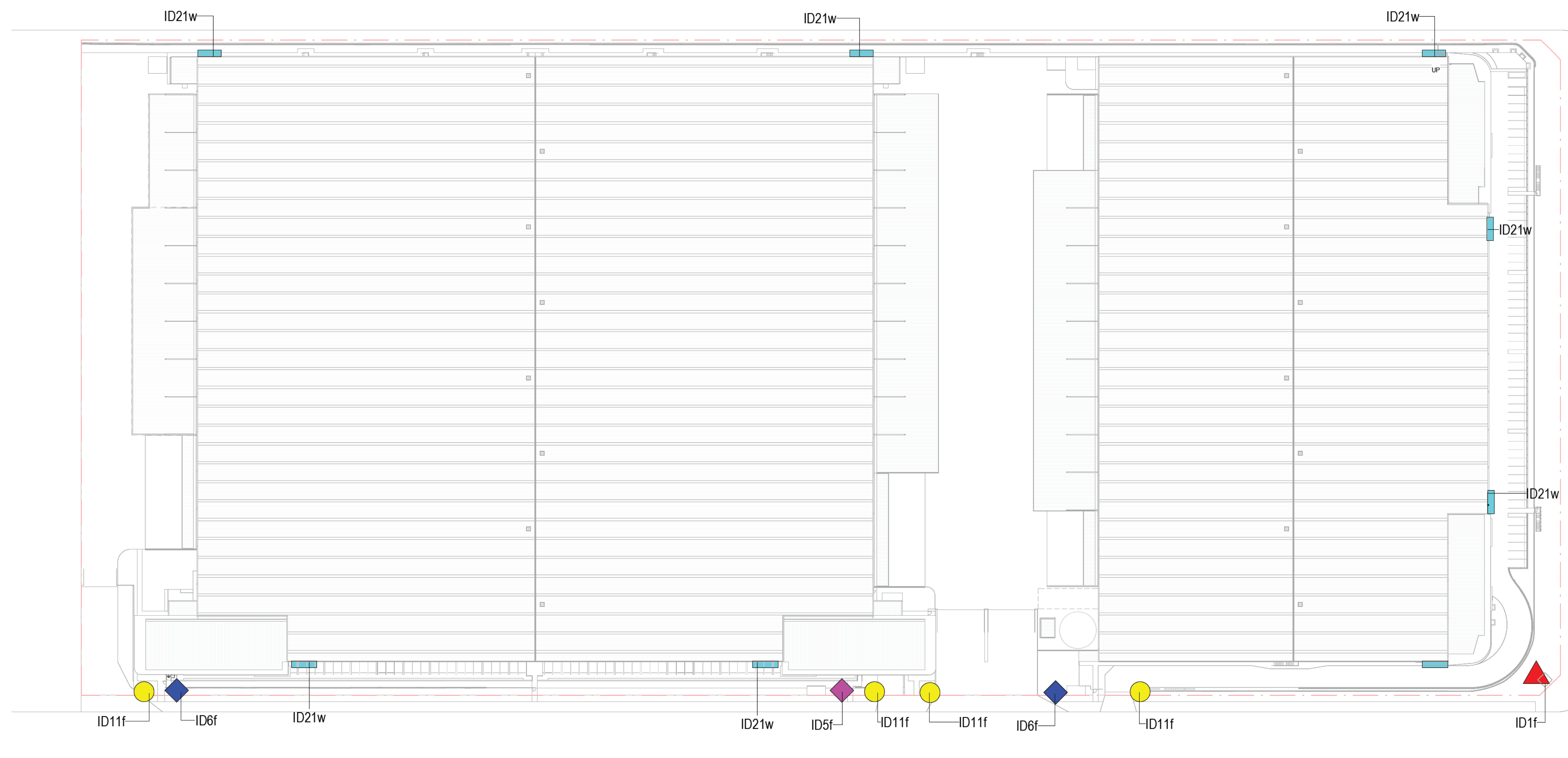


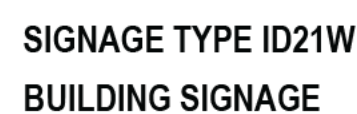
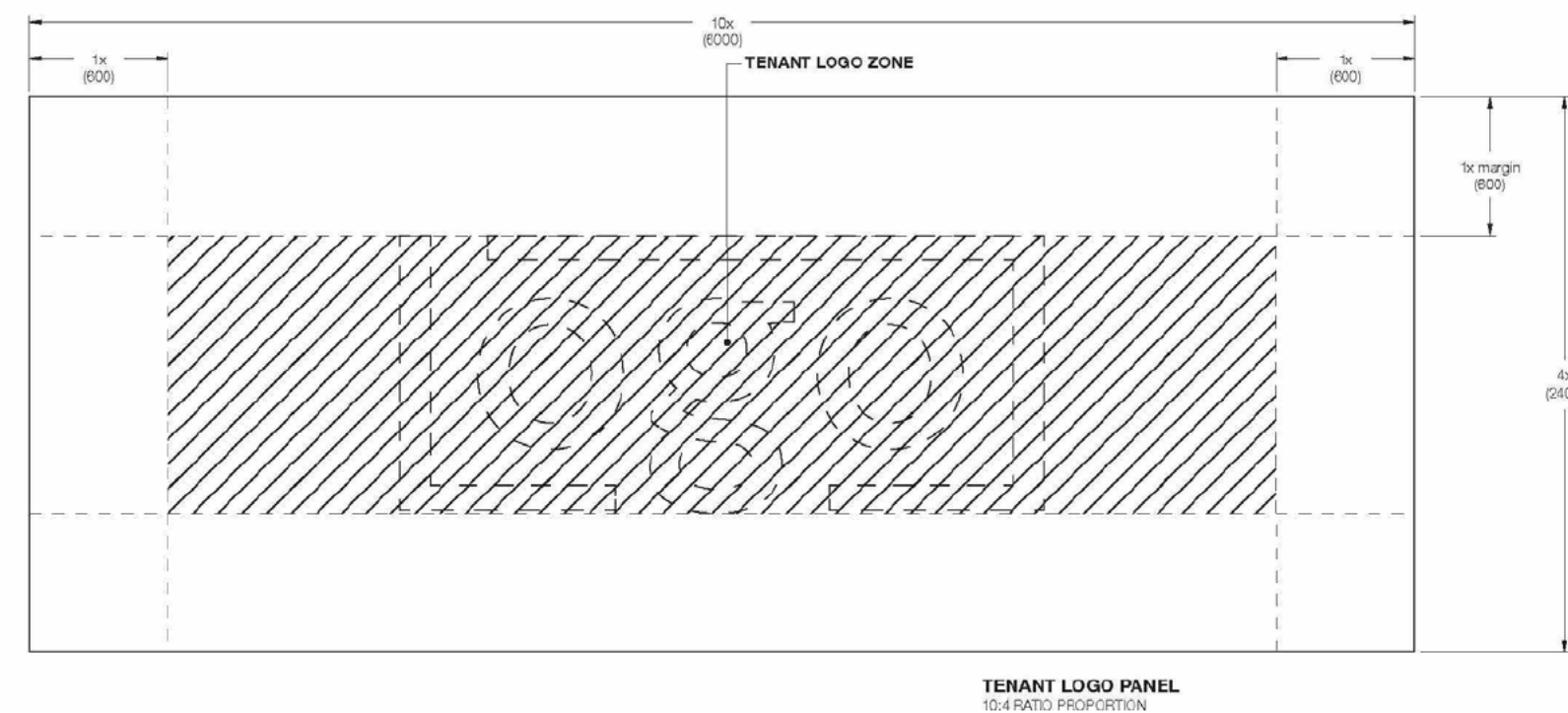
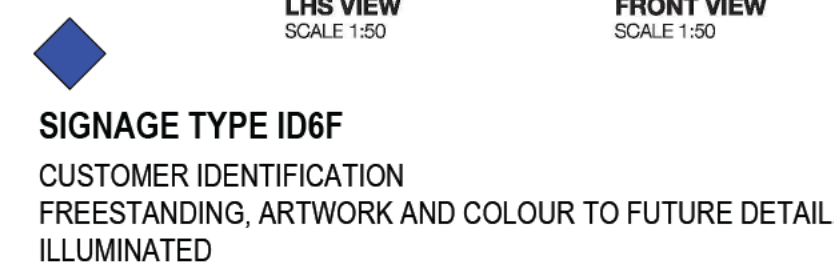
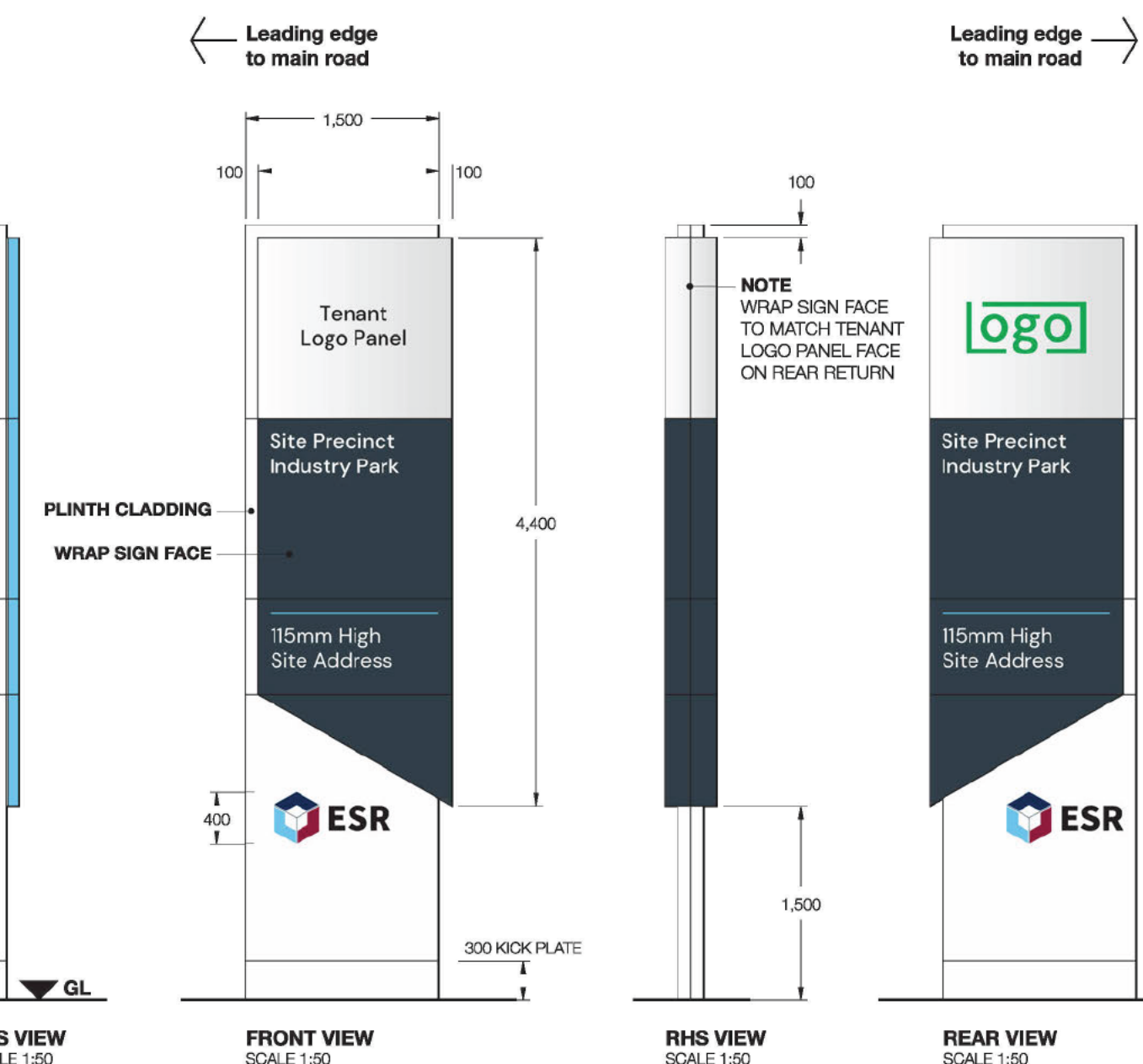
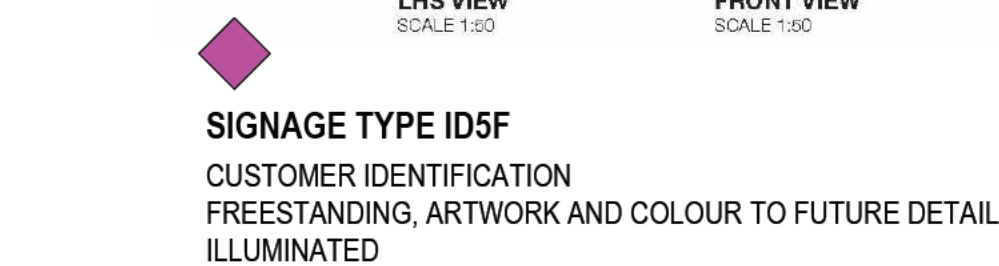
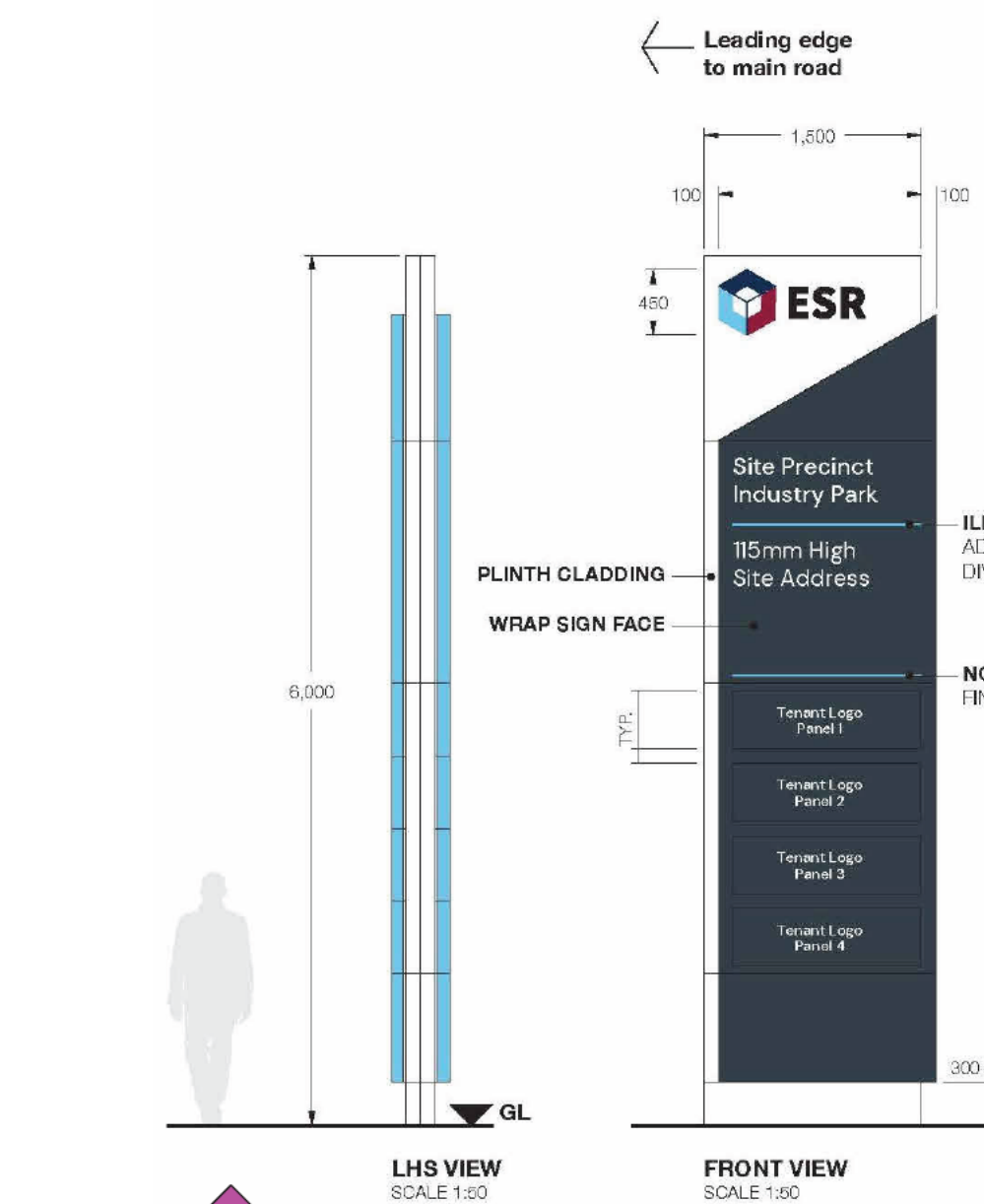
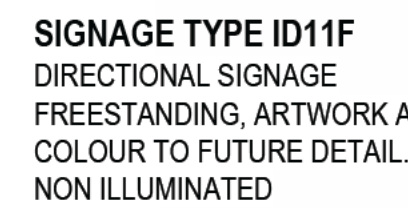
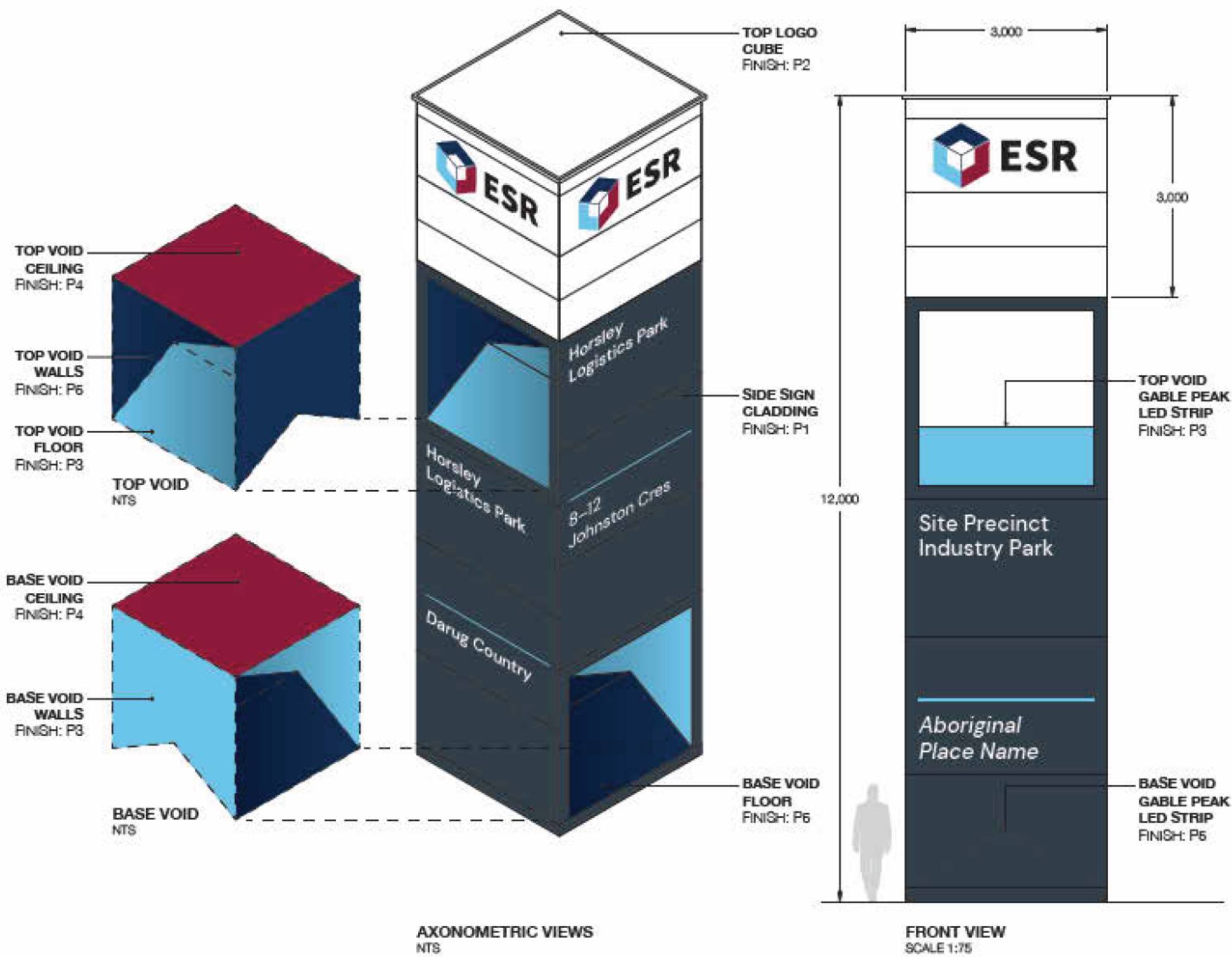
Bar Scales

Scale:
1:400

Issue:
5

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Slate PMS 432	White RAL 0000	ESR Light Blue PMS 297 C	ESR Red PMS 1955 C	ESR Blue PMS 295 C	Black PMS Process Black
P1 Match to PMS 432 Satin finish	P2 Sikkens / Lesonol Match to RAL 9003 Satin finish	P3 Match to PMS 297 C Satin finish	P4 Match to PMS 1955 C Satin finish	P5 Match to PMS 295 C Satin finish	P6 Sikkens / Lesonol Colour code: 500H3
BP1 Match to PMS 432 Satin finish	BP2 Product specification Matt finish	BP3 Match to PMS 297 C Satin finish	BP4 Match to PMS 1955 C Satin finish	BP5 Match to PMS 295 C Satin finish	
VO1 Avery 900 Series Colour code: 962 Storm Grey	VO2 Avery 900 Series Colour code: 900 Gloss White	VO3 Avery 900 Series Colour code: 9777 Peacock Blue	VO4 Avery 900 Series Colour code: 924 Dark Red	VO5 Avery 900 Series Colour code: 9197 Light Navy	VO6 Avery 900 Series Colour code: 901 Gloss Black
	DPC2 Avery Digital Clear Vinyl MPI 1040 clear cast media with DOL 1080 satin overlaminate Printed opaque white	DPT3 Avery Digital Translucent Vinyl MPI 2050 media with DOL 1080 satin overlaminate Colour to match PMS 297 C			

COLOUR PALETTE

[illegible]

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FOR SSDA

Key Plan

Project Name
HORSLEY LOGISTICS PARK STAGE 2

Project Address
3 JOHNSTON CRESCENT, HORSLEY PARK, NSW

Bar Scales

Drawing Title:
SIGNAGE DETAILS

Author: AB Checker: MC Sheet Size: A1 Scale: NTS

Drawing Number: 14092_DA041 Issue: 4

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