

KEY MAP

DRAWINGS BY



LANDSCAPE ARCHITECTURE

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PROJECT

ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

DRAWING NAME

Coversheet

CLIENT

ESR DEVELOPMENTS (AUST) PTY LTD

PHASE

Development Application
Landscape Drawing Set

DRAWING REGISTER

DRAWING NUMBER	DRAWING NAME	REVISION	DATE
L.SK.00	Coversheet		
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ESR



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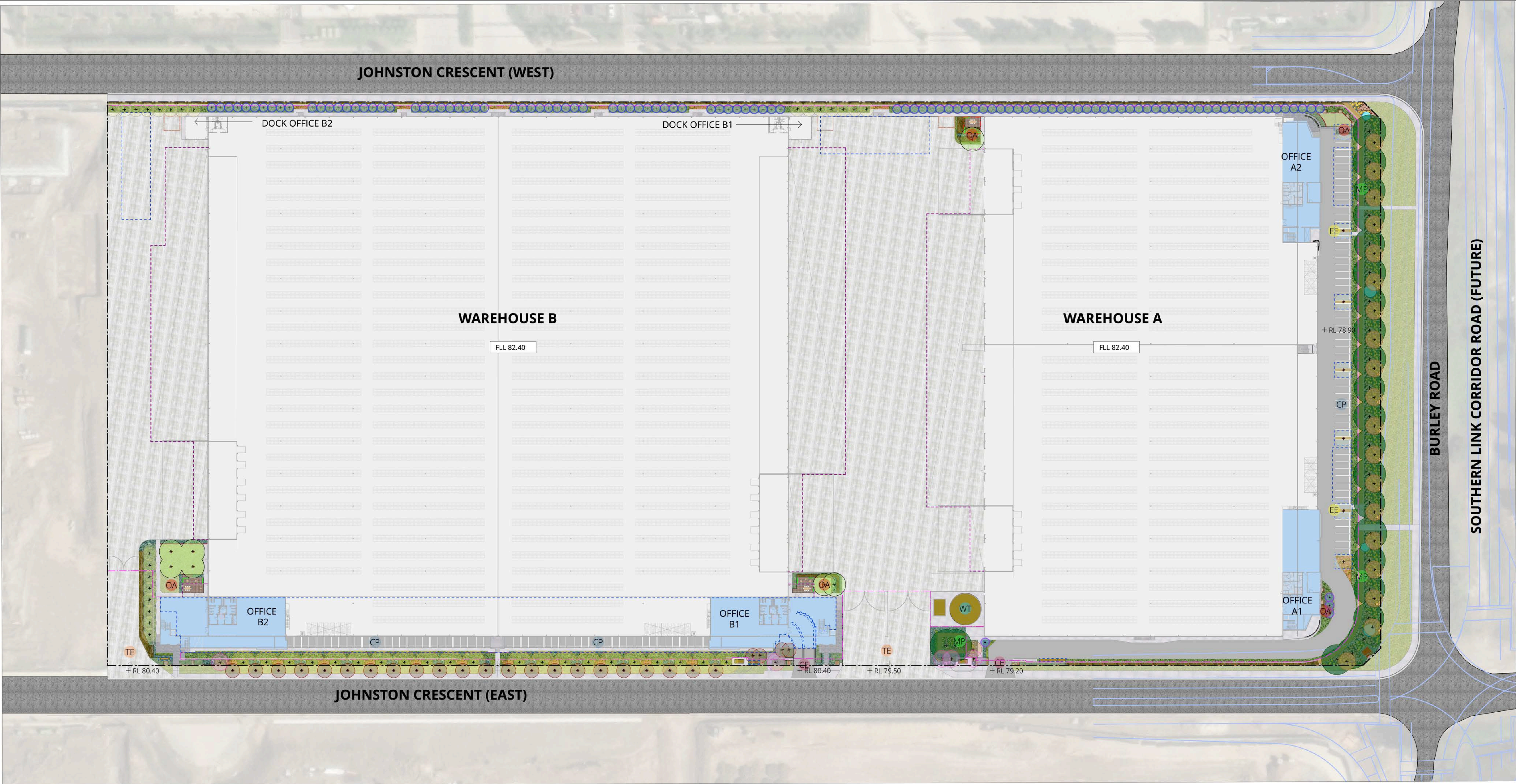
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Architect

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Legend	
PROGRAMME	PAVEMENTS
CE Car Entry/Exit	Concrete - Pedestrian and SUP
CP Carparking	Concrete - Vehicular
TE Truck Entry/Exit	Existing concrete footpath
BA Basin	Asphalt - driveway and parking
WT Water Tank	Asphalt - existing road
OA Outdoor Amenity Area	Decomposed Granite - Maintenance Path
EE Emergency Egress	Permeable Paving
MP Maintenance Path	Special Entry Paving
BOUNDARIES	Column concrete
Lot Boundary	Timber facade
Structure Below	Ballast Rock Mulch
Structure Above	
GENERAL	FURNITURE AND FITTINGS
Building	Proposed seating
Office	Table setting
Demolition	Tree Ring w/ mulch
Services	Shade Structure
Existing Area Refurbished	LED Uplight
Southern Link Corridor (Future)	Entry Marker
LEVELS AND CONTOURS	Estate Signage
+ RL 0.0 Reduced level	Sandstone Seating
Top of wall	Small Table
Bottom of wall	
Contour major	
Ramp	PLANTING
Proposed stairs	TF1-General Turf
DRAINAGE TYPE	PM1A-Car park edge mix
Sewer	PM1B-Site edge mix (shade)
Drainage type 01	PM3B-Shrub mix (shade)
Subsoil drainage	PM6B-Hedge mix
Refer CIVIL ENG.	PM7A-Groundcover mix (A)
Drainage type 03	PM7B-Groundcover mix (B)
Grated pit	PM12-Native Groundcover mix
Refer CIVIL ENG.	PM13-Native grass mix
WALLS & EDGES	PM14-Entry climber mix
Existing wall	TREES
Weathering steel edge	Cupaniopsis anacardiodes shown at mature size
Proposed flush concrete kerb	Elaeocarpus eumundii shown at mature size
Proposed raised concrete kerb	Eucalyptus tereticornis shown at mature size
Proposed Retaining Wall	fraxinus urbanite shown at mature size
RAILS AND FENCING	Lagerstroemia 'Natchez' shown at mature size
Trellis screen	Magnolia grandiflora 'Exmouth' shown at mature size
Waste Storage Area	Melaleuca linariifolia shown at mature size
Fencing - general	Melaleuca nodosa shown at mature size
Maintenance Safety Rail	Syzygium australe 'Resilience' shown at mature size
	Tristanopsis laurina shown at mature size
	Pyrus calleryana 'Capital' shown at mature size

NOTES:
1. FOR WAREHOUSE A, REFER TO DRAWING LSK.100
2.FOR WAREHOUSE B, REFER TO DRAWING LSK.101

DRAWING NUMBER	DRAWING NAME	REVISION	PROJECT NAME AND ADDRESS	CONSULTANTS	DRAWINGS BY
LSK.01	Landscape Master Plan	H	ESR Horsley Logistics Park Lot 3 Horsley Park NSW	Architect nettleontribe	scape LANDSCAPE ARCHITECTURE DESIGN Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au
PROJECT NUMBER	DRAWING DATE	SCALE	SCALE BAR	STATUS	NP
SD-251-24	17/1/2025	1:750	0 5 10 15 20 25 30 35 M	DA SUBMISSION	
CLIENT NAME	CHECKED BY	DRAWN BY	AW/TR	CH	
ESR DEVELOPMENTS (AUST) PTY LTD					
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PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	POT SIZE	RATE (per m2)	QUANTITY
Proposed trees						
<i>Cupaniopsis anacardioides</i>	Tuckeroo	10	6	100L	As Shown	7
<i>Elaeocarpus eumundii</i>	Eumundi Quandong	15	5	75L	As Shown	26
<i>Eucalyptus tereticornis</i>	Forest Red Gum	30	11	45L	As Shown	23
<i>Fraxinus pensylvanica</i> 'Urbanite'	Urbanite Ash	15	8	100L	As Shown	21
<i>Lagerstroemia</i> 'Natchez'	Crepe myrtle	6	6	200L	As Shown	5
<i>Magnolia grandiflora</i> 'Exmouth'	Bull Bay Magnolia	12	8	200L	As Shown	7
<i>Melaleuca linariifolia</i>	Snow-in-Summer	10	5	75L	As Shown	23
<i>Melaleuca nodosa</i>	Prickly-leaved paperbark	6	2	100L	As Shown	102
<i>Pyrus calleryana</i> 'Capital'	Capital Flowering Pear	10	3	200L	As Shown	4
<i>Syzygium australe</i>	Resilience Lilly Pilly	3	3	75L	As Shown	106
<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	10	6	100L	As Shown	20

PM1A-Car park edge mix (shade)						
					Area =	325.4 sq.m
<i>Callistemon</i> 'Little John'	Little John Bottle Brush	0.9	0.9	140mm	4	
<i>Callistemon</i> 'Red Rover'	Red Rover	0.4	1.5	140mm	4	
<i>Lomandra</i> 'Lime Tuff'	Mat Rush	0.6	0.6	140mm	4	
<i>Poa labillardieri</i>	Tussock Grass	1.3	0.7	140mm	4	
<i>Trachelospermum jasminoides</i>	Star Jasmine	0.5	1	140mm	4	

PM1B-Site edge mix (shade)						
					Area =	426.9 sq.m
<i>Callistemon</i> 'White Anzac'	Bottlebrush	1	2	140mm	4	
<i>Hibbertia scandens</i>	Climbing Guinea-Flower	0.5	2	140mm	4	
<i>Liriope muscari</i> 'Just Right'	Just Right	0.5	0.5	140mm	4	

PM3B-Shrub mix (shade)						
					Area =	139.3 sq.m
<i>Acmena smithii</i> 'Cherry Surprise'	Lilly Pilly	2	1	200mm	4	
<i>Anigozanthos</i> 'Red Cross'	Red Cross Kangaroo Paws	1.5	1.5	140mm	4	
<i>Grevillea rosmarinifolia</i> Crimson Villea	Rosemary Grevillea, H16	0.8	0.8	200mm	4	
<i>Indigofera australis</i>	Australian Indigo	1.8	1.8	200mm	4	
<i>Loropetalum chinense</i> 'Plum Gorgeous'	Loropetalum Plum Gorgeous	1	1.2	200mm	4	
<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Sacred Bamboo	0.75	0.75	200mm	4	
<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawtho	1	1	200mm	4	

PM6B-Hedge mix (shade)						
					Area =	252.6 sq.m
<i>Acmena smithii</i> 'Fire Screen'	Creek Lilly Pilly	4	1.5	300mm	4	
<i>Correa alba</i>	White Correa	1	1	300mm	4	
<i>Syzygium australe</i> 'Tiny Trev'	Brush Cherry	1.2	1	300mm	4	
<i>Viburnum odoratissimum</i>	Sweet Viburnum	4	4	300mm	4	

PM7A-Groundcover mix A						
					Area =	562.0 sq.m
<i>Callistemon citrinus</i> 'White Anzac'	Bottlebrush	1	1	140mm	5	
<i>Carpobrotus glaucescens</i>	Pig Face	0.1	0.6	140mm	5	
<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	5	
<i>Grevillea lanigera</i> 'Mt Tamboritha'	Mt Tamboritha Grevillea	0.3	1	140mm	5	
<i>Hibbertia scandens</i>	Climbing Guinea-Flower	0.5	2	140mm	5	

PM7B-Groundcover mix B						
					Area =	561.6 sq.m
<i>Callistemon hybrid</i> 'Calkwr' PBR	Red rover Callistemon	0.4	1.5	140mm	5	
<i>Grevillea juniperina</i> 'Molonglo'	Grevillea	0.8	3	140mm	5	
<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Sacred Bamboo	0.75	0.75	200mm	5	
<i>Trachelospermum jasminoides</i>	Star Jasmine	0.5	1	140mm	5	
<i>Trachelospermum jasminoides</i> 'tricolor'	Tricolor Star Jasmine	0.5	1	140mm	5	

PM12-Native groundcover mix						
					Area =	1822.7 sq.m
<i>Grevillea</i> 'Poorinda Royal Mantle'	Grevillea groundcover	0.5	3	140mm	4	
<i>Hardenbergia violacea</i>	Native Lilac	1	1	140mm	4	
<i>Kennedia rubicunda</i>	Dusky Coral-pea	1	2	140mm	4	
<i>Scaevola albida</i> 'Blue Mist'	'Blue Mist' Fan Flower	0.3	1	140mm	4	
<i>Viola hederacea</i>	Native Viola	0.1	0.2	140mm	4	

PM13-Native grass mix						
					Area =	612.4 sq.m
<i>Carex appressa</i>	Tall Sedge	0.7	0.5	75mm	4	
<i>Dianella caerulea</i>	Flax-lily	0.8	0.8	140mm	4	
<i>Dianella revoluta</i>	Spreading Flax Lily	1	1.5	140mm	4	
<i>Lomandra confertifolia</i> 'Little Con'	Little Con	0.3	0.3	140mm	4	
<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8	1	140mm	4	
<i>Poa labillardieri</i>	Tussock Grass	1.3	0.7	140mm	4	

PM14B-Climbers entry marker						
					Area =	612.4 sq.m
<i>Dianella caerulea</i> 'Breeze'	Blue-Flax Lily	0.7	0.7	140mm	4	
<i>Dichondra repens</i>	Kidney Weed	0.1	0.5	140mm	4	
<i>Kennedia rubicunda</i>	Dusky Coral-pea	1	2	140mm	4	
<i>Pandorea pandorana</i> 'Snowbells'	Wonga Wonga Vine	0.1	1	140mm	4	

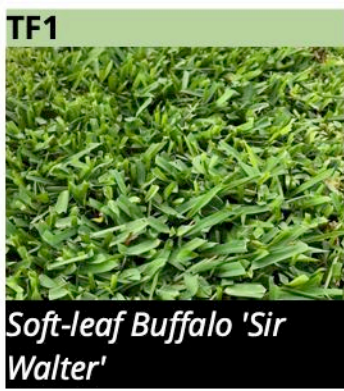
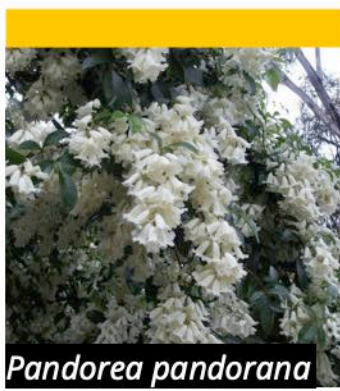
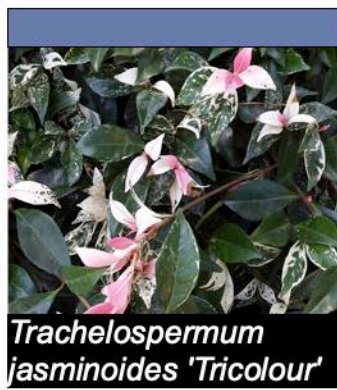
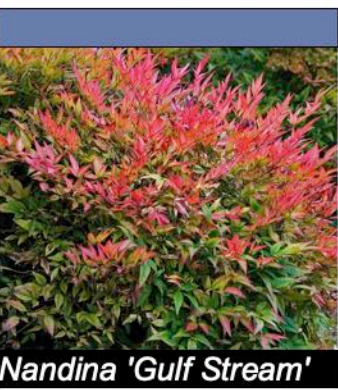
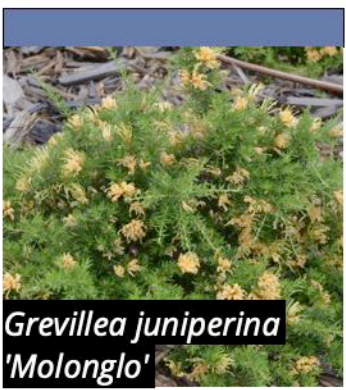
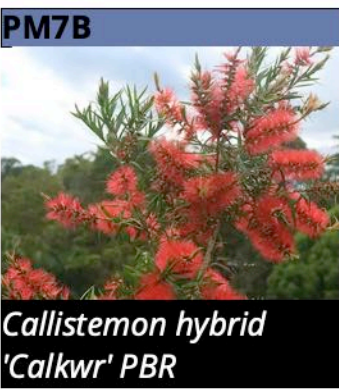
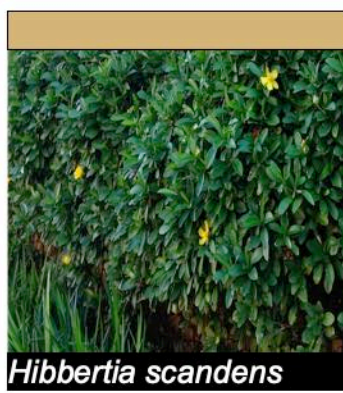
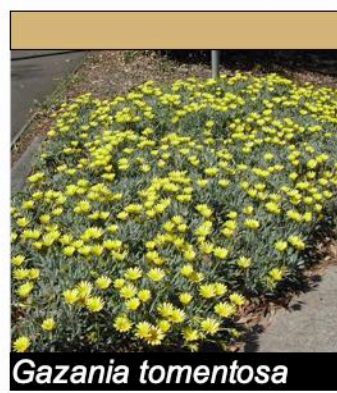
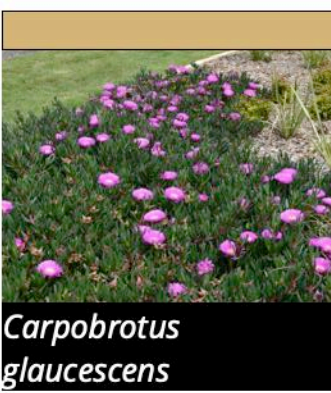
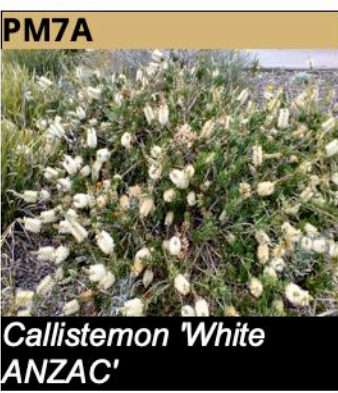
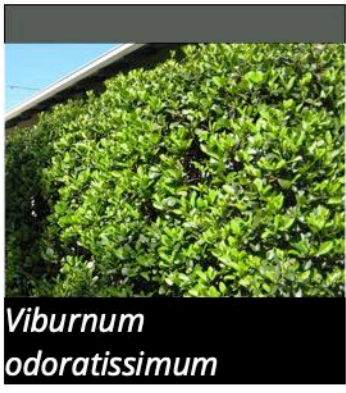
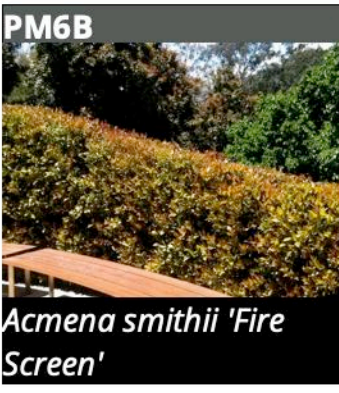
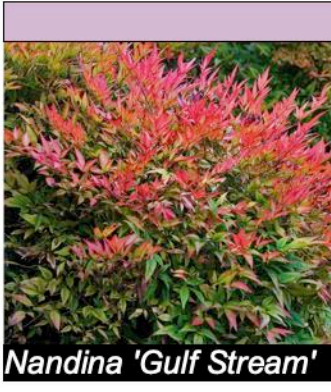
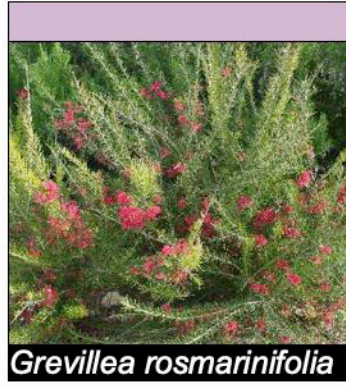
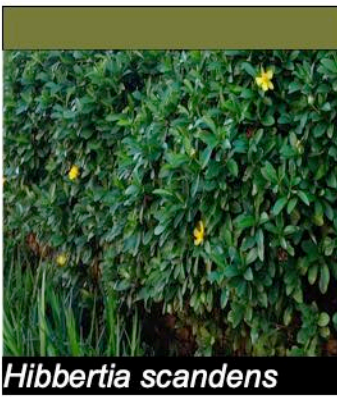
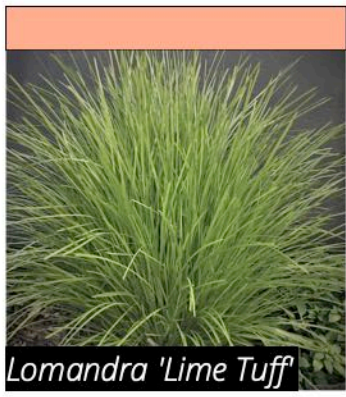
TF1-General Turf						
<i>Stenotaphrum secundatum</i> 'Sir Walter'			Sir Walter Buffalo		Turf Roll	Area = 3398.6 sq.m

PLANT SCHEDULE (NATIVE TO FAIRFIELD CITY)

BOTANICAL NAME	COMMON NAME
Proposed trees	
<i>Eucalyptus tereticornis</i>	Forest Red Gum
<i>Melaleuca linariifolia</i>	Snow in Summer
<i>Tristaniopsis laurina</i>	Water Gum
<i>Melaleuca nodosa</i>	Prickly-leaved paperbark
Proposed shrubs	
<i>Acmena smithii</i>	Lillypilly
<i>Callistemon citrinus</i>	Crimson Bottlebrush
<i>Callistemon viminalis</i>	Weeping Bottlebrush
<i>Correa alba</i>	White Correa
<i>Indigofera australis</i>	Austral Indigo
<i>Kennedia rubicunda</i>	Dusky coral Pea

Proposed grasses, groundcovers and climbers	
<i>Carex appressa</i>	Tall Sedge
<i>Dianella caerulea</i>	Paroo Lily
<i>Dianella revoluta</i>	Black Anther Flax Lily
<i>Dichondra repens</i>	Kidney Weed
<i>Grevillea</i> 'Poorinda Royal Mantle'	Bronze Rambler Grevillea
<i>Hardenbergia violacea</i>	'Happy Wanderer'
<i>Lomandra longifolia</i>	Mat Rush
<i>Pandorea pandorana</i>	Wonga Wonga Vine
<i>Poa labillardieri</i>	Tussock Grass
<i>Scavaelo albida</i>	Fanflower
<i>Viola hederacea</i>	Native Violet

NOTE:
The above species are extracted for use on the project from Fairfield City Council's DCP Appendix F



PROPOSED TREES



Cupaniopsis anacardioides



Elaeocarpus eumundii



Eucalyptus tereticornis



Fraxinus pensylvanica 'Urbanite'



Lagerstroemia Natchez



Magnolia grandiflora 'Exmouth'



Melaleuca linariifolia



Syzygium australe 'Resilience'



Tristaniopsis laurina 'Luscious'

DRAWING NUMBER

L.SK.02

PROJECT NUMBER

SD-251-24

DRAWING DATE

17/1/2025

DRAWING NAME

Planting Schedule

SCALE

SCALE BAR

STATUS

DA SUBMISSION

NP

PROJECT NAME AND ADDRESS

ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

CLIENT NAME

ESR DEVELOPMENTS (AUST) PTY LTD

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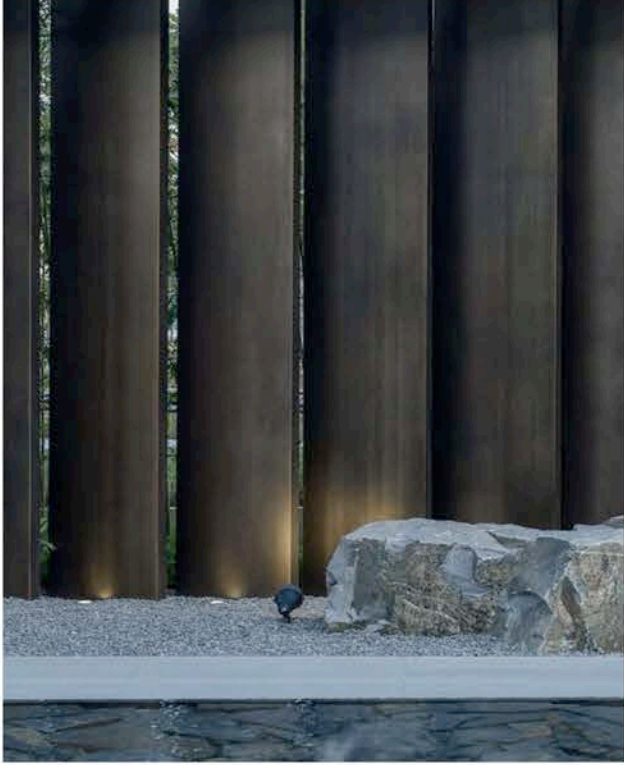
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Character

Entry Feature Options



Framed vertical louvre



Framed vertical louvre (detail)



Sandstone logs (Landscape seats & bollards)



Stylised timber cladding

Breakout space



Shared seating



Exposed timber batton pergola



Green wall (tensile)



Mesh trellis with climber

Material



Permeable paving (Ecohitrex pavers)



Decomposed granite



Flush concrete kerbs

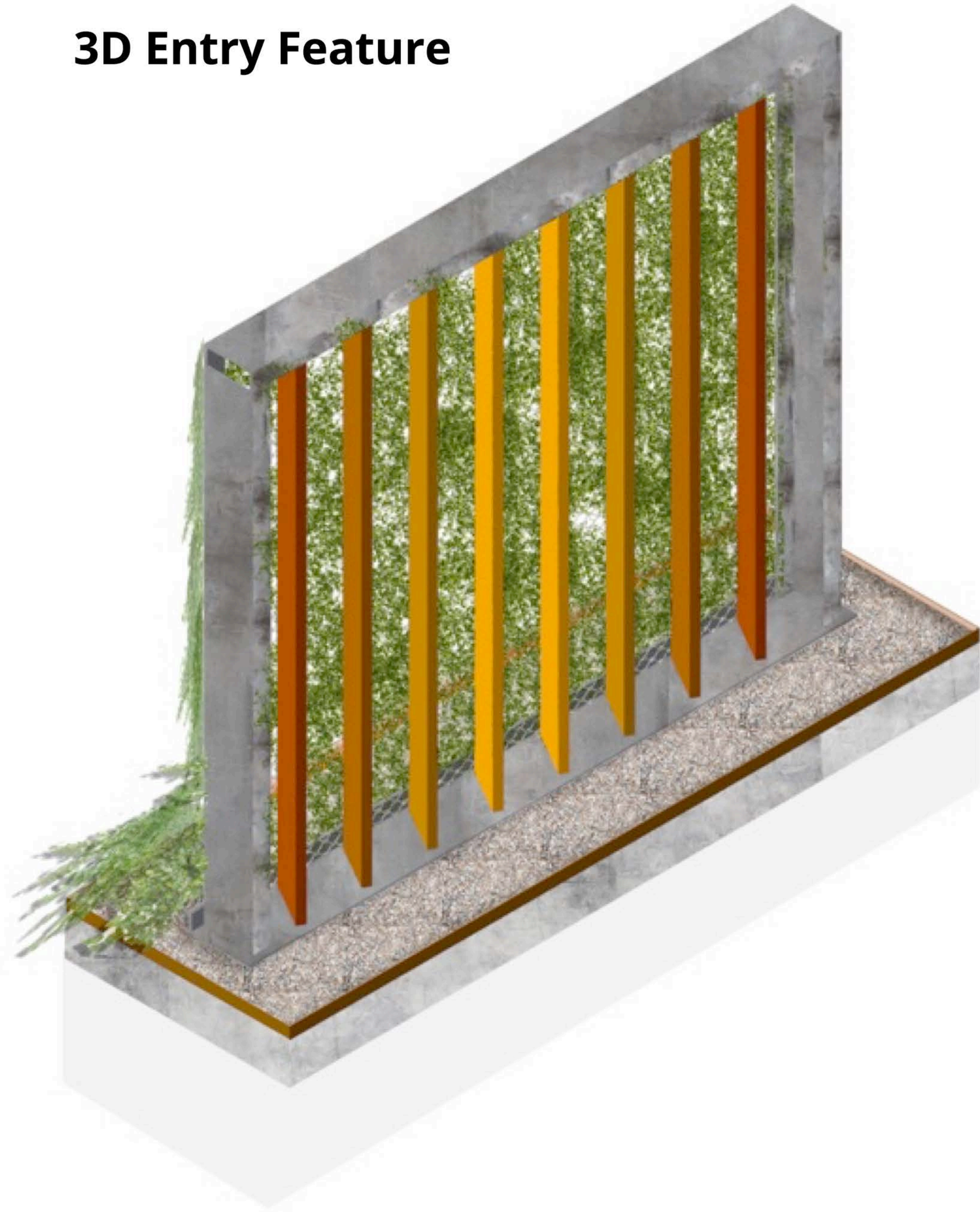


Basalt rock mulch



Sandstone spalling rock mulch

3D Entry Feature



Landscape Design Statement

Landscape Design Statement - Lot 3 Horsley Park NSW – SCAPE Design

The landscape design prepared for Lot 3 Horsley Park NSW aims to provide resilient landscapes, comply with the principles of NSW Government Architect 'Greener Places Design Guide', and reduce the urban heat island effect through tree canopy provision.

The creation of resilient industrial landscapes is achieved in the first instance by maximising tree planting in order to mitigate heat island effects caused by large expanses of pavement and to screen built form. The on-lot development will incorporate 307 native and 37 exotic trees in order achieve a 5.7% canopy coverage and address these requirements, as well as providing a largely native tree canopy. This includes 22 native *Elaeocarpus eumundii* proposed to enhance the Public Domain to Johnston Crescent (East). Permeable surfaces comprising a combination of native, endemic and carefully selected exotic vegetation, decomposed granite and gravel mulches, will be maximised in order to reduce run-off. Plant species are also to be low maintenance and adaptable to a range of climatic conditions, ensuring all new landscaped areas are water sensitive and tolerant of the harsh Western Sydney climate.

This industrial park is surrounded by other industrial developments, making the boundary landscape setbacks important defining spaces. Planting to the east and western boundaries is concentrated to the higher ground levels to give immediate screening effect. Tree planting is maximised to the northern boundary where there is the greatest landscape set-back. The designed level change provides an opportunity for a two tier approach, using smaller scale tree planting to the higher level with larger tree planting to the lower level (set back from the retaining wall), which also maximises tree canopy and screening through the use of large *Eucalyptus* planting, along with smaller height *Water Gum* planting.

Car park tree planting contributes to reducing the urban heat island effect and the resilience of this planting is enhanced by the proposed provision of vaulted tree pits, using structural soil over an area of 6m x 5m beneath the car park surfacing to supplement the tree pits within the narrower car park islands. Provision of irrigation, aeration and drainage are all key elements to sustaining tree growth within these areas.

Once within the site, feature trees assist with wayfinding by helping to define the building entry points. Wayfinding will be further emphasised by the provision of feature entry markers adjacent to entries to accompany estate signage. The design also incorporates breakout spaces and formalised gardened areas allowing for staff and visitors to enjoy moments of respite.

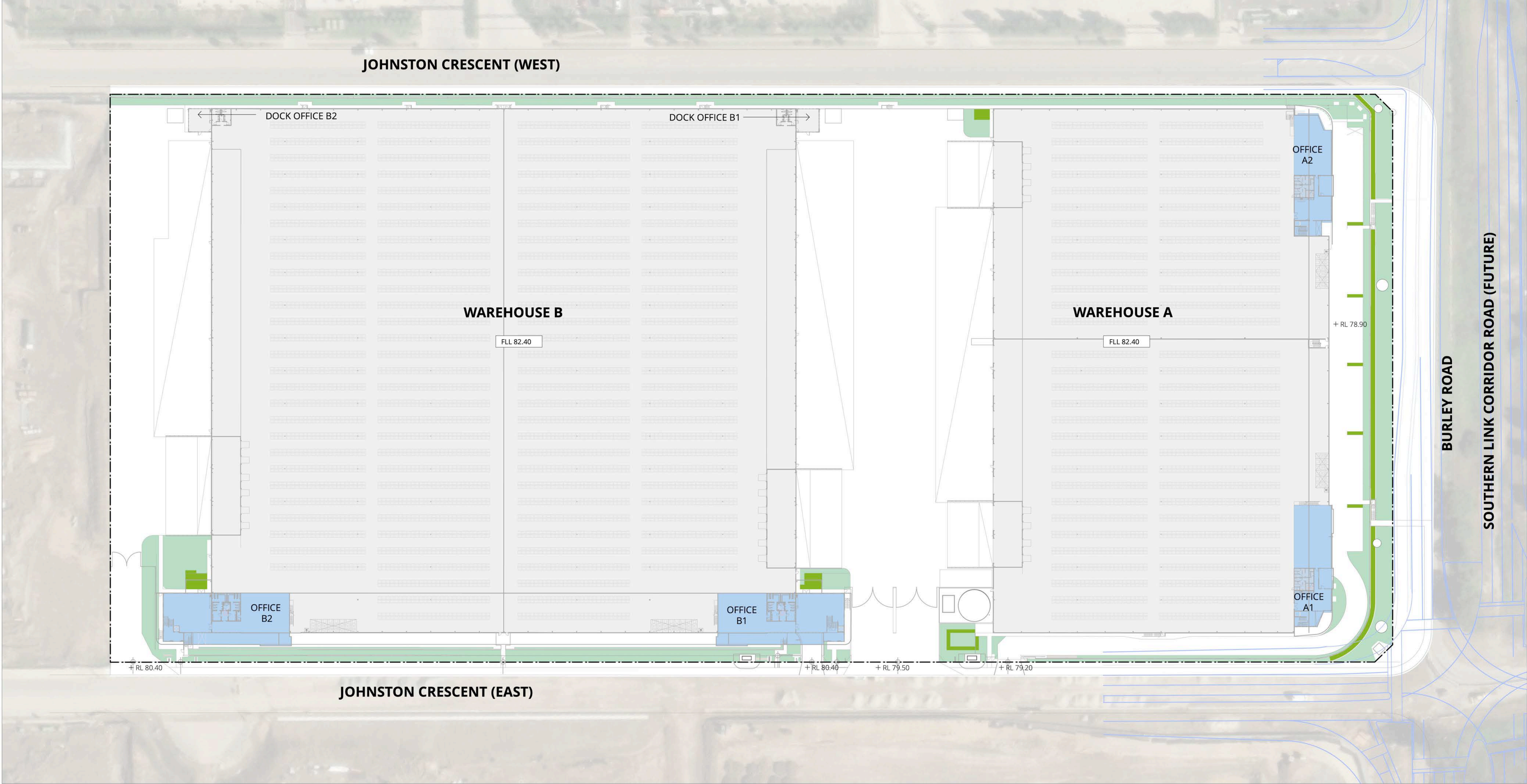
Overall, the landscape approach aspires to achieve the environmental and planning requirements, while also providing a memorable landscape contribution to this increasingly industrialised precinct. The health and function of the landscape has been considered during the design period and assumes skilful and careful installation, establishment and ongoing maintenance that tapers off over time once the landscape has acclimatised and is resilient to fluctuations in climate and usage.

NOT FOR CONSTRUCTION

DRAWING NUMBER		DRAWING NAME		REVISION	
L.SK.03		Materials & Character		H	
PROJECT NUMBER	DRAWING DATE	SCALE	SCALE BAR	STATUS	NP
SD-251-24	17/1/2025			DA SUBMISSION	

PROJECT NAME AND ADDRESS	
ESR Horsley Logistics Park Lot 3 Horsley Park NSW	
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ESR DEVELOPMENTS (AUST) PTY LTD	ESR
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CONSULTANTS		DRAWINGS BY			
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Legend

- Lot boundary
- Southern Link Corridor (Future)

LANDSCAPE AREA ANALYSIS

- Building
- Office Areas
- Permeable landscape area
- Permeable paving area

Landscape Area	
Lot Area (m2)	86,728
Permeable Paving (m2)	468
Landscape Area (m2)	4,914
Total landscape and Permeable Paving Area	5,382
Landscape Area - % of Lot	6.21%

DRAWING NUMBER

L.SK.04

PROJECT NUMBER

SD-251-24

DRAWING DATE

17/1/2025

DRAWING NAME

Landscape Area Analysis

REVISION

H

SCALE

1:750

SCALE BAR

0 5 10 15 20 25 30 35 M

STATUS

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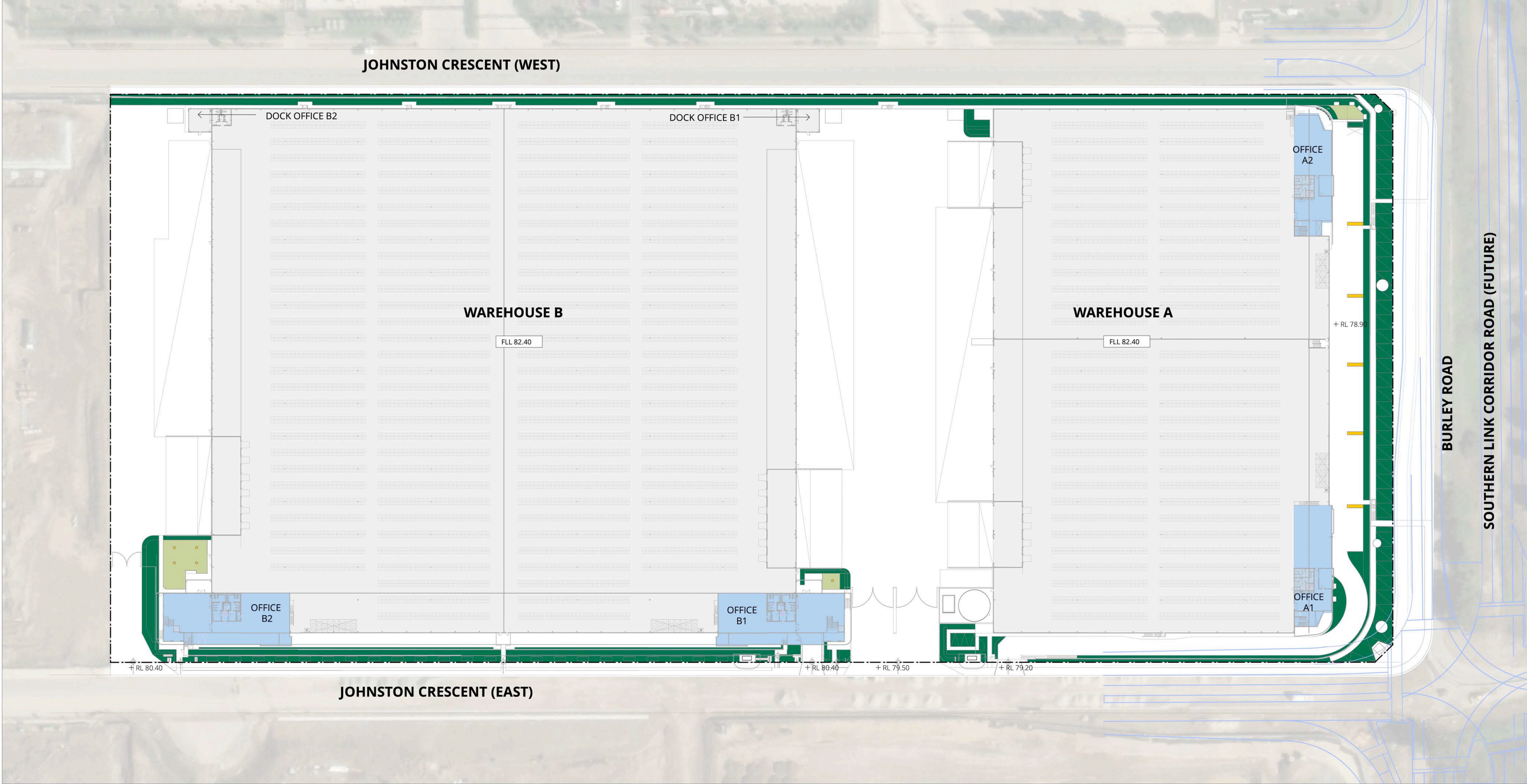
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Legend

- Lot Boundary
- Southern Link Corridor (Future)

IRRIGATION ZONE DIAGRAM

- Building
- Office Areas
- Island - Drip line (with tree coil)
- Garden bed - Drip line
- Turf - Pop up sprinkler
- Hosecock - with keyed tap head (hydraulic shop drawings to be provided by contractor - to future detail)
- Subsurface conduits (for irrigation lines)
- Irrigation network (Irrigation shop drawings to be provided by contractor - to future detail)

Irrigation Zone		
	Area m2	% of Lot
Lot Area	86,728m2	100%
Island Area	69m2	0.08%
Turf Area	638m2	0.7%
Garden Bed Area	12,096m2	13.9%

- NOTES
- Contractor to provide and coordinate controller location and connectionsto recycled water supply.
 - Contractor to provide shop drawings of irrigation systemfor review prior to construction.

DRAWING NUMBER

L.SK.05

PROJECT NUMBER

SD-251-24

DRAWING DATE

17/1/2025

DRAWING NAME

Irrigation Zone Diagram

SCALE

1:750

SCALE BAR

0 5 10 15 20 25 30 35 M

STATUS

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REVISION

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PROJECT NAME AND ADDRESS

ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

CLIENT NAME

ESR DEVELOPMENTS (AUST) PTY LTD



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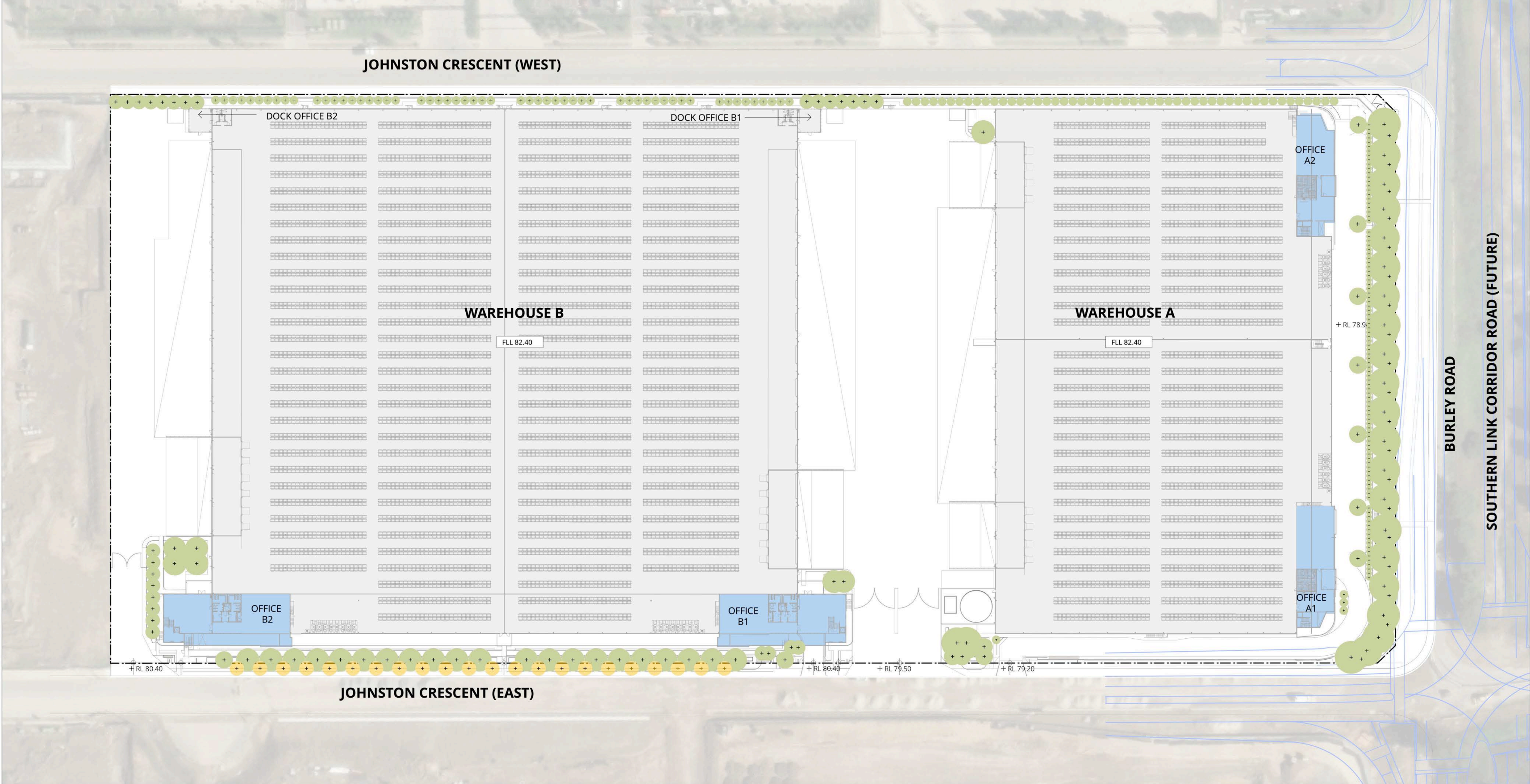
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Legend	
	Lot Boundary
	Southern Link Corridor (Future)
CANOPY COVERAGE ANALYSIS	
	Building
	Office Areas
	Proposed Canopy
	Proposed canopy upon council approval
CANOPY COVER	
Overall	Size
Site area (Including buildings, hard stands and OSD)	86,728 sq m
Proposed mature canopy (On-Lot)	4,969 sq m
Percentage cover	
5.73%	

Methodology

1. Calculate the area (sq m) within the site boundary
2. Calculate the area of this site covered by the expected mature canopy.
3. Divide the mature canopy area by the site boundary area and convert to a percentage.

DRAWING NUMBER	
L.SK.06	
PROJECT NUMBER	
SD-251-24	
DRAWING DATE	
17/1/2025	

DRAWING NAME		REVISION	
Canopy Coverage Analysis		H	
SCALE	SCALE BAR	STATUS	NP
1:750	0 5 10 15 20 25 30 35 M	DA SUBMISSION	

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Legend	
PROGRAMME	CE Car Entry/Exit
	CP Carparking
	TE Truck Entry/Exit
	BA Basin
	WT Water Tank
	OA Outdoor Amenity Area
	EE Emergency Egress
	MP Maintenance Path
	BOUNDARIES
	Lot boundary
GENERAL	Building
	Office
	Demolition
	Services
	Seperation Line
	Existing area refurbished
	Southern Link Corridor (Future)
	LEVELS AND CONTOURS
	+RL 0.0 Reduced level
	Top of wall
DRAINAGE TYPE	Bottom of wall
	Contour major
	Ramp
	Proposed stairs
	Sewer
	Drainage type 01
	Subsoil drainage
	Refer CIVIL ENG.
	Drainage type 03
	Grated pit
WALLS & EDGES	Refer CIVIL ENG.
	Existing wall
	Weathering steel edge
	Proposed flush concrete kerb
	Proposed raised concrete kerb
	Proposed Retaining Wall
	RAILS AND FENCING
	Trellis screen
	Waste Storage Area
	Fencing - general
PAVEMENTS	Maintenance Safety Rail
	Concrete - Pedestrian and SUP
	Concrete - Vehicular
	Existing concrete footpath
	Asphalt - driveway and parking
	Asphalt - existing road
	Decomposed Granite - Maintenance Path
	Permeable Paving
	Column concrete
	Timber facade
FURNITURE AND FITTINGS	Ballast Rock Mulch
	Proposed seating
	Table setting
	Tree Ring w/ mulch
	Shade Structure
	LED Uplight
	Entry Marker
	Estate Signage
	Sandstone Seating
	Small Tables
PLANTING	TF1-General Turf
	PM1A-Car park edge mix
	PM1B-Site edge mix (shade)
	PM3B-Shrub mix (shade)
	PM6B-Hedge mix
	PM7A-Groundcover mix (A)
	PM7B-Groundcover mix (B)
	PM12-Native Groundcover mix
	PM13-Native grass mix
	PM14-Entry climber mix
TREES	Cupaniopsis anacardioides shown at mature size
	Elaeocarpus eumundii shown at mature size
	Eucalyptus teteticornis shown at mature size
	fraxinus urbanite shown at mature size
	Lagerstroemia 'Natchez' shown at mature size
	Magnolia grandiflora 'Exmouth' shown at mature size
	Melaleuca linarifolia shown at mature size
	Melaleuca nodosa shown at mature size
	Syzygium australe 'Resilience' shown at mature size
	Tristanopsis laurina shown at mature size
Pavements	Pyrus calleryana 'Capital' shown at mature size
	Concrete - Pedestrian and SUP
	Concrete - Vehicular
	Existing concrete footpath
	Asphalt - driveway and parking
	Asphalt - existing road
	Decomposed Granite - Maintenance Path
	Permeable Paving
	Column concrete
	Timber facade
Furniture and Fittings	Ballast Rock Mulch
	Proposed seating
	Table setting
	Tree Ring w/ mulch
	Shade Structure
	LED Uplight
	Entry Marker
	Estate Signage
	Sandstone Seating
	Small Tables

DRAWING NUMBER
L.SK.100

PROJECT NUMBER
SD-251-24

DRAWING DATE
17/1/2025

DRAWING NAME
Concept Plan - Warehouse A

SCALE
1:500

SCALE BAR
0 5 10 15 20 25 M

REVISION
H

NP

PROJECT NAME AND ADDRESS
ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

CLIENT NAME
ESR DEVELOPMENTS (AUST) PTY LTD

ESR

CONSULTANTS
Architect

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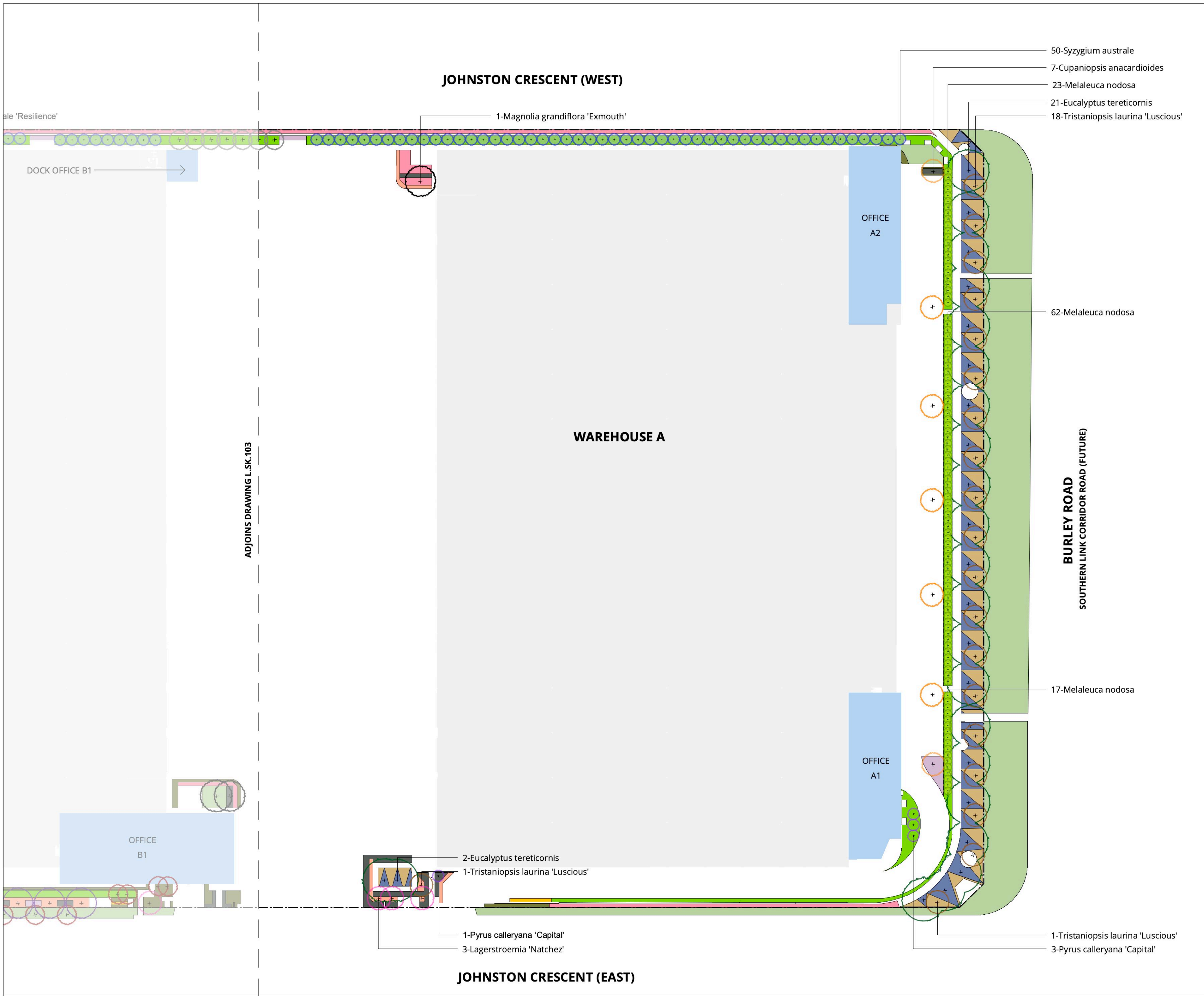
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Legend

BOUNDARIES

- Lot boundary
- Building
- Office

PLANTING

- TF1-General Turf
- PM1A-Car park edge mix (shade)
- PM1B-Site edge mix (shade)
- PM6A-Feature shrub mix (shade)
- PM6B-Hedge mix sun
- PM7A-Groundcover mix A
- PM7B-Groundcover mix B
- PM12-Native groundcover mix
- PM13-Native planting mix
- PM14B-Climbers entry marker

TREE

- Cupaniopsis anacardioides shown at mature size
- Elaeocarpus eumundii shown at mature size
- Eucalyptus tereticornis shown at mature size
- fraxinus urbanite shown at mature size
- Lagerstroemia 'Natchez' shown at mature size
- Magnolia grandiflora 'Exmouth' shown at mature size
- Melaleuca linarifolia shown at mature size
- Melaleuca nodosa shown at mature size
- Syzygium australe 'Resilience' shown at mature size
- Tristaniaopsis laurina shown at mature size
- Pyrus calleryana 'Capital' shown at mature size

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DRAWING NUMBER	DRAWING NAME	REVISION
L.SK.102	Planting Plan - Warehouse A	H
PROJECT NUMBER	DRAWING DATE	SCALE
SD-251-24	17/1/2025	1:500
		SCALE BAR
		0 5 10 15 20 25 M
		STATUS
		DA SUBMISSION
		NP

PROJECT NAME AND ADDRESS	CLIENT NAME
ESR Horsley Logistics Park Lot 3 Horsley Park NSW	ESR DEVELOPMENTS (AUST) PTY LTD
CONSULTANTS	DRAWN BY
Architect	AW
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CONSULTANTS	NETTLETONTRIBE
Architect	
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Nettletontribe (02) 9431 6431	



Legend

BOUNDARIES

- Lot boundary
- Building
- Office

PLANTING

- TF1-General Turf
- PM1A-Car park edge mix (shade)
- PM1B-Site edge mix (shade)
- PM6A-Feature shrub mix (shade)
- PM6B-Hedge mix sun
- PM7A-Groundcover mix A
- PM7B-Groundcover mix B
- PM12-Native groundcover mix
- PM13-Native planting mix
- PM14B-Climbers entry marker

TREE

- Cupaniopsis anacardioides shown at mature size
- Elaeocarpus eumundii shown at mature size
- Eucalyptus tereticornis shown at mature size
- Fraxinus urbanite shown at mature size
- Lagerstroemia 'Natchez' shown at mature size
- Magnolia grandiflora 'Exmouth' shown at mature size
- Melaleuca linariifolia shown at mature size
- Melaleuca nodosa shown at mature size
- Syzygium australe 'Resilience' shown at mature size
- Tristanopsis laurina shown at mature size
- Pyrus calleryana 'Capital' shown at mature size

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DRAWING NUMBER DRAWING NAME REVISION PROJECT NAME AND ADDRESS CONSULTANTS

L.SK.103 Planting Plan - Warehouse B H ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

PROJECT NUMBER DRAWING DATE SCALE SCALE BAR STATUS NP CLIENT NAME

SD-251-24 17/1/2025 1:500 DA SUBMISSION ESR DEVELOPMENTS (AUST) PTY LTD

CONSULTANTS

Architect

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


















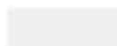














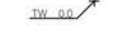
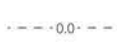



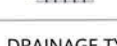















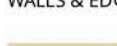




















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Legend			
PROGRAMME		PAVEMENTS	
	Car Entry/Exit		Concrete - Pedestrian and SUP
	Car parking		Concrete - Vehicular
	Truck Entry/Exit		Existing concrete footpath
	Basin		Asphalt - driveway and parking
	Water Tank		Asphalt - existing road
	Outdoor Amenity Area		Decomposed Granite - Maintenance Path
	Emergency Egress		Permeable Paving
	Maintenance Path		Special Entry Paving
BOUNDARIES			Columen concrete
	Lot Boundary		Timber facade
	Structure Below		Ballast Rock Mulch
	Structure Above	FURNITURE AND FITTINGS	
GENERAL			Proposed seating
	Building		Table setting
	Office		Tree Ring w/ mulch
	Demolition		Shade Structure
	Services		LED Uplight
	Existing Area Refurbished		Entry Marker
	Southern Link Corridor (Future)		Estate Signage
LEVELS AND CONTOURS			Sandstone Seating
	Reduced level		Small Table
	Top of wall	PLANTING	
	Bottom of wall		TF1-General Turf
	Contour major		PM1 A-Car park edge mix
	Ramp		PM1 B-Site edge mix (shade)
	Proposed stairs		PM3B-Shrub mix (shade)
DRAINAGE TYPE			PM6B-Hedge mix
	Sewer		PM7A-Groundcover mix (A)
	Drainage type 01		PM7B-Groundcover mix (B)
	Subsoil drainage		PM12-Native Groundcover mix
	Refer CIVIL ENG.		PM13-Native grass mix
	Drainage type 03		PM14-Entry climber mix
	Grated pit	TREES	
	Refer CIVIL ENG.		Cupaniopsis anacardioides shown at mature size
WALLS & EDGES			Elaeocarpus eumundi shown at mature size
	Existing wall		Eucalyptus tereticornis shown at mature size
	Weathering steel edge		fraxinus urbanite shown at mature size
	Proposed flush concrete kerb		Lagerstroemia 'Natchez' shown at mature size
	Proposed raised concrete kerb		Magnolia grandiflora 'Exmouth' shown at mature size
	Proposed Retaining Wall		Melaleuca linariifolia shown at mature size
RAILS AND FENCING			Melaleuca nodosa shown at mature size
	Trellis screen		Syzygium australe 'Resilience' shown at mature size
	Waste Storage Area		Tristanopsis laurina shown at mature size
	Fencing - general		Pyrus calleryana 'Capital' shown at mature size
	Maintenance Safety Rail		

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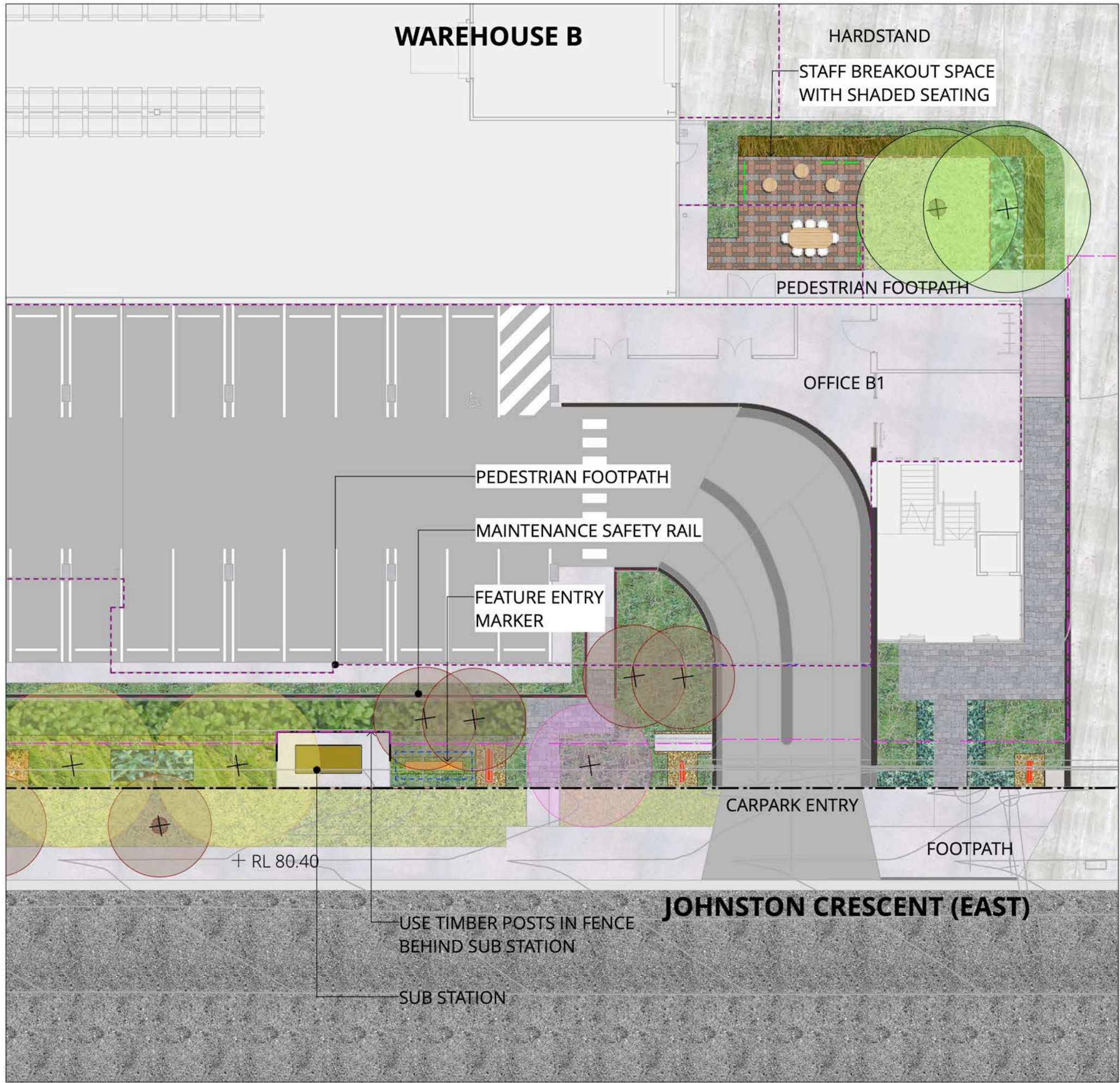
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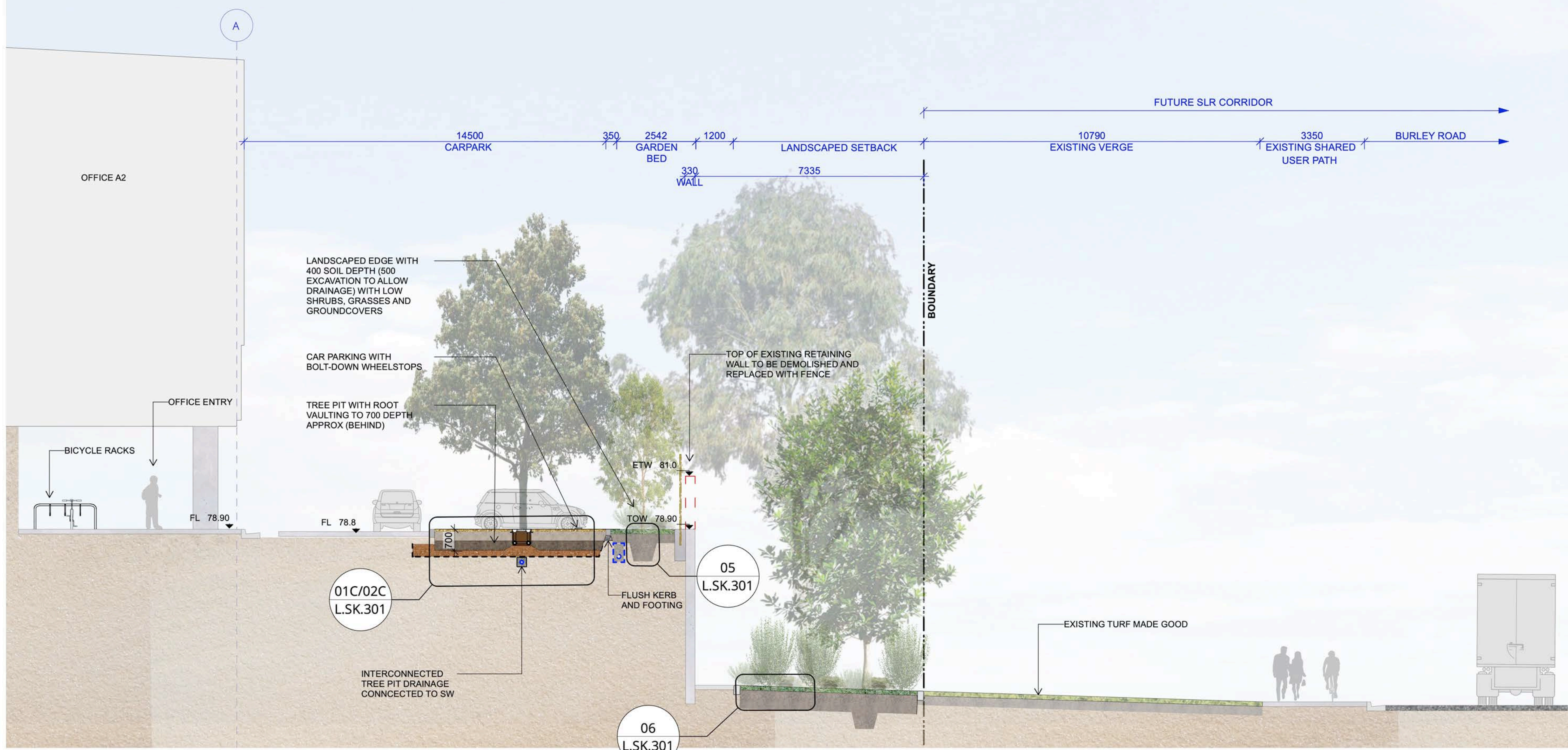
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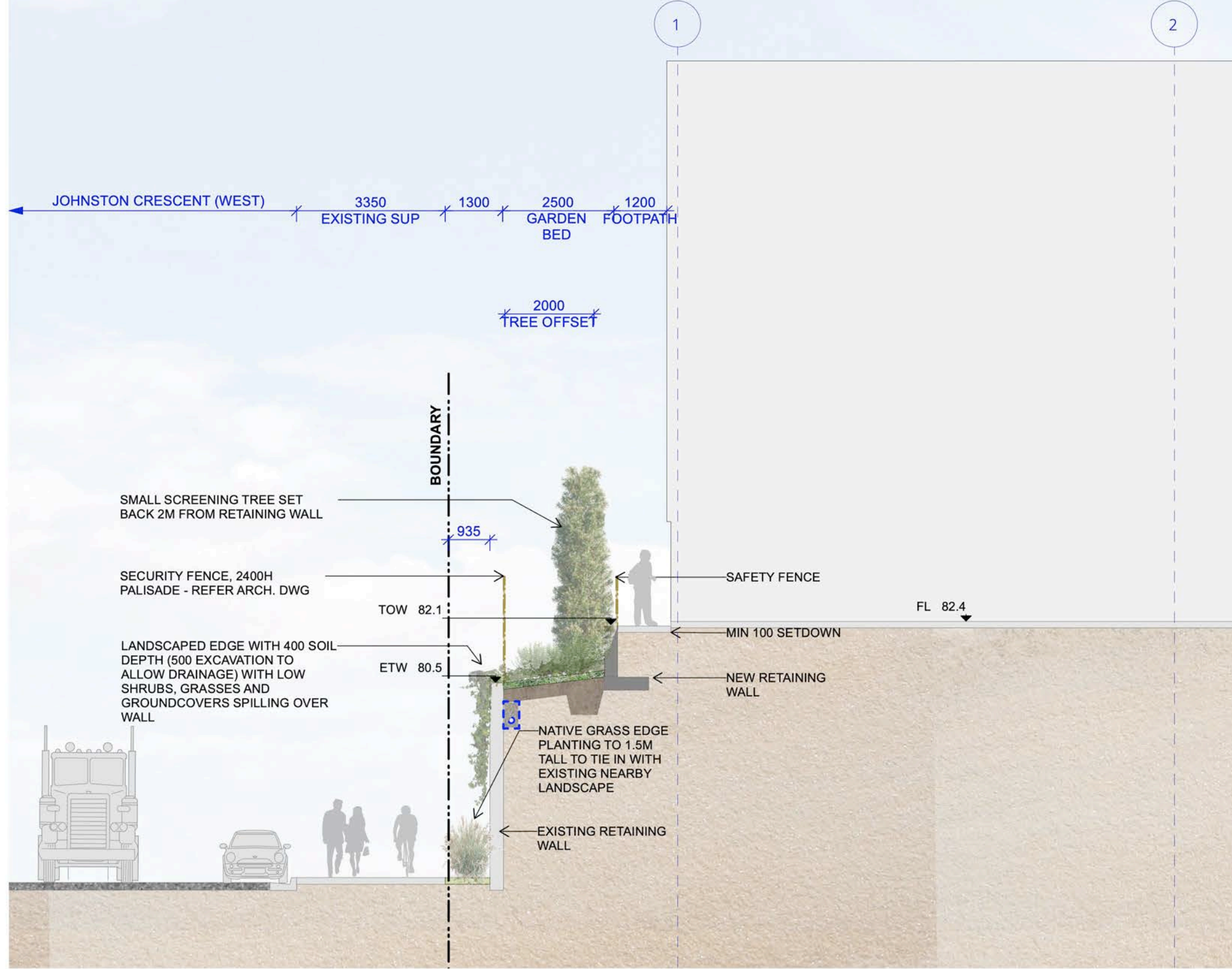


Legend	
PROGRAMME	
CE	Car Entry/Exit
CP	Carparking
TE	Truck Entry/Exit
BA	Basin
WT	Water Tank
OA	Outdoor Amenity Area
EE	Emergency Egress
MP	Maintenance Path
BOUNDARIES	
---	Lot Boundary
---	Structure Below
---	Structure Above
GENERAL	
	Building
	Office
- - -	Demolition
	Services
	Existing Area Refurbished
	Southern Link Corridor (Future)
LEVELS AND CONTOURS	
+ RL 0.0	Reduced level
Top of wall	Top of wall
Bottom of wall	Bottom of wall
Contour major	Contour major
Ramp	Ramp
Proposed stairs	Proposed stairs
DRAINAGE TYPE	
Sewer	Sewer
Drainage type 01	Drainage type 01
Subsoil drainage	Subsoil drainage
Refer CIVIL ENG.	Refer CIVIL ENG.
Drainage type 03	Drainage type 03
Grated pit	Grated pit
Refer CIVIL ENG.	Refer CIVIL ENG.
WALLS & EDGES	
Existing wall	Existing wall
Weathering steel edge	Weathering steel edge
Proposed flush concrete kerb	Proposed flush concrete kerb
Proposed raised concrete kerb	Proposed raised concrete kerb
Proposed Retaining Wall	Proposed Retaining Wall
RAILS AND FENCING	
Trellis screen	Trellis screen
Waste Storage Area	Waste Storage Area
Fencing - general	Fencing - general
Maintenance Safety Rail	Maintenance Safety Rail
PAVEMENTS	
Concrete - Pedestrian and SUP	Concrete - Pedestrian and SUP
Concrete - Vehicular	Concrete - Vehicular
Existing concrete footpath	Existing concrete footpath
Asphalt - driveway and parking	Asphalt - driveway and parking
Asphalt - existing road	Asphalt - existing road
Decomposed Granite - Maintenance Path	Decomposed Granite - Maintenance Path
Permeable Paving	Permeable Paving
Special Entry Paving	Special Entry Paving
Column concrete	Column concrete
Timber facade	Timber facade
Ballast Rock Mulch	Ballast Rock Mulch
FURNITURE AND FITTINGS	
Proposed seating	Proposed seating
Table setting	Table setting
Tree Ring w/ mulch	Tree Ring w/ mulch
Shade Structure	Shade Structure
LED Uplight	LED Uplight
Entry Marker	Entry Marker
Estate Signage	Estate Signage
Sandstone Seating	Sandstone Seating
Small Table	Small Table
PLANTING	
TF1-General Turf	TF1-General Turf
PM1A-Car park edge mix	PM1A-Car park edge mix
PM1B-Site edge mix (shade)	PM1B-Site edge mix (shade)
PM3B-Shrub mix (shade)	PM3B-Shrub mix (shade)
PM6B-Hedge mix	PM6B-Hedge mix
PM7A-Groundcover mix (A)	PM7A-Groundcover mix (A)
PM7B-Groundcover mix (B)	PM7B-Groundcover mix (B)
PM12-Native Groundcover mix	PM12-Native Groundcover mix
PM13-Native grass mix	PM13-Native grass mix
PM14-Entry climber mix	PM14-Entry climber mix
TREES	
Cupaniopsis anacardioides shown at mature size	Cupaniopsis anacardioides shown at mature size
Elaeocarpus eumundii shown at mature size	Elaeocarpus eumundii shown at mature size
Eucalyptus tereticornis shown at mature size	Eucalyptus tereticornis shown at mature size
fraxinus urbanite shown at mature size	fraxinus urbanite shown at mature size
Lagerstroemia 'Natchez' shown at mature size	Lagerstroemia 'Natchez' shown at mature size
Magnolia grandiflora 'Exmouth' shown at mature size	Magnolia grandiflora 'Exmouth' shown at mature size
Melaleuca linariifolia shown at mature size	Melaleuca linariifolia shown at mature size
Melaleuca nodosa shown at mature size	Melaleuca nodosa shown at mature size
Syzygium australe 'Resilience' shown at mature size	Syzygium australe 'Resilience' shown at mature size
Tristanopsis laurina shown at mature size	Tristanopsis laurina shown at mature size
Pyrus calleryana 'Capital' shown at mature size	Pyrus calleryana 'Capital' shown at mature size

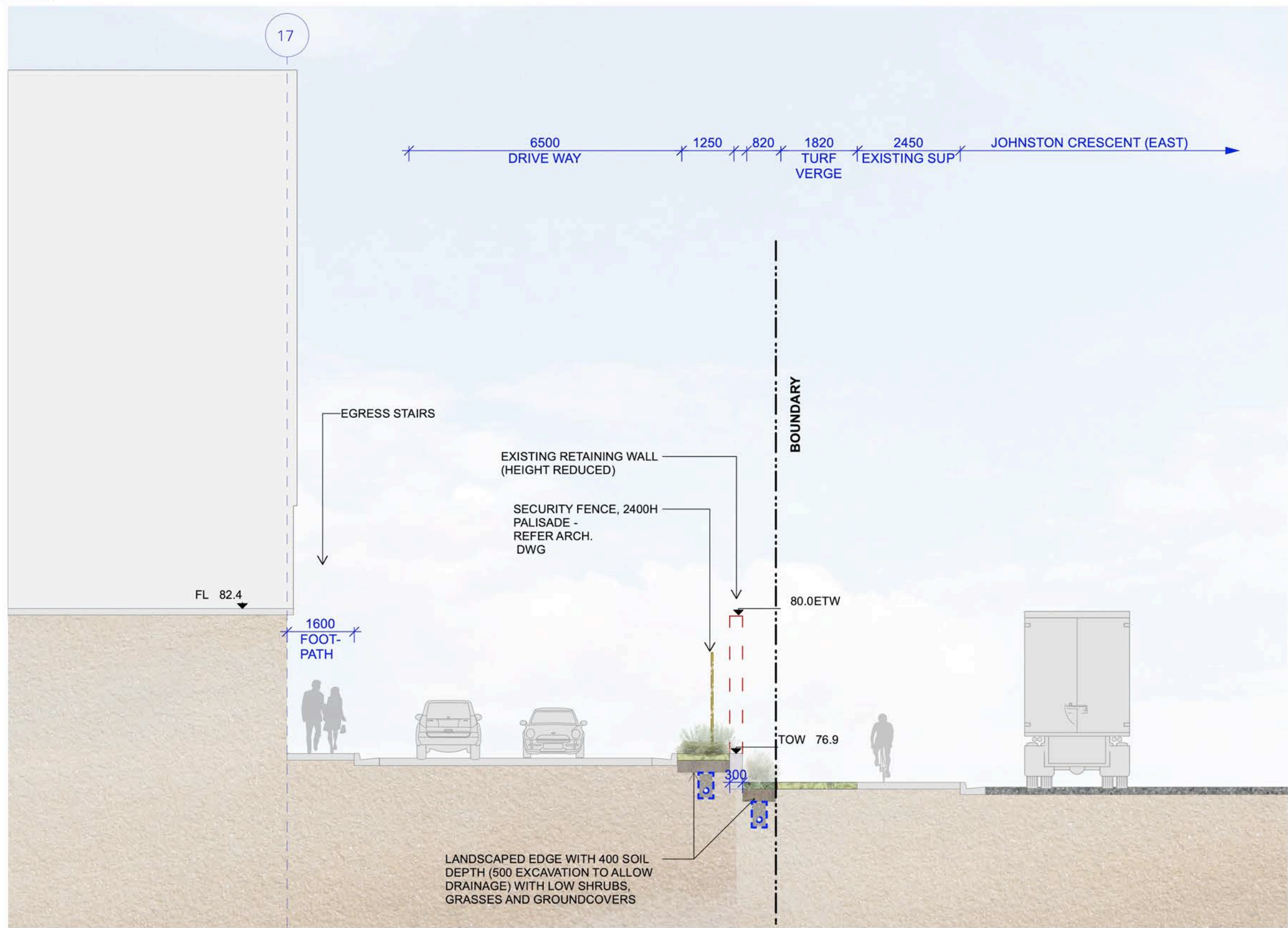
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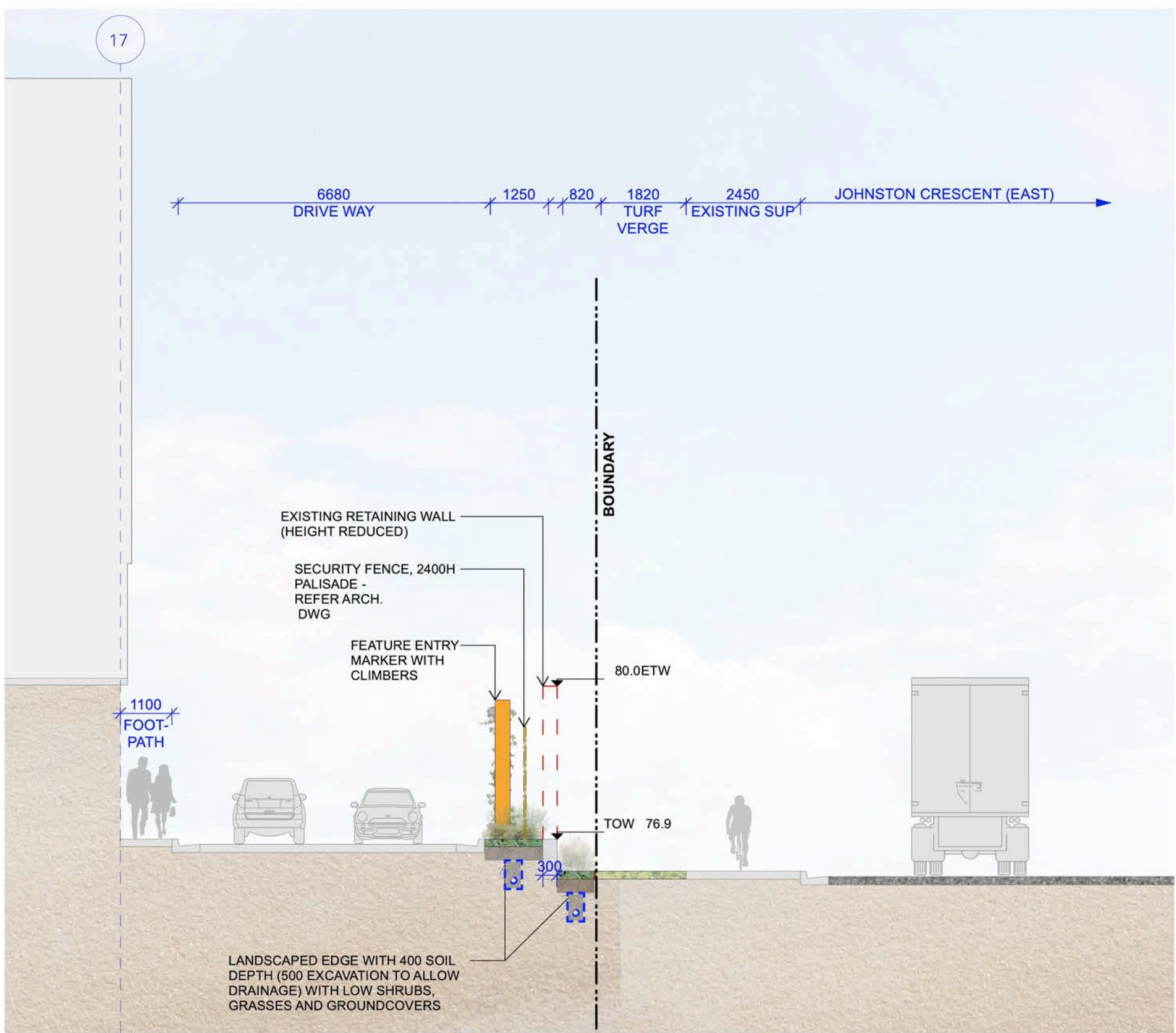
01 WAREHOUSE A - UNDERCROFT
SECTION - SCALE: 1:100@A1



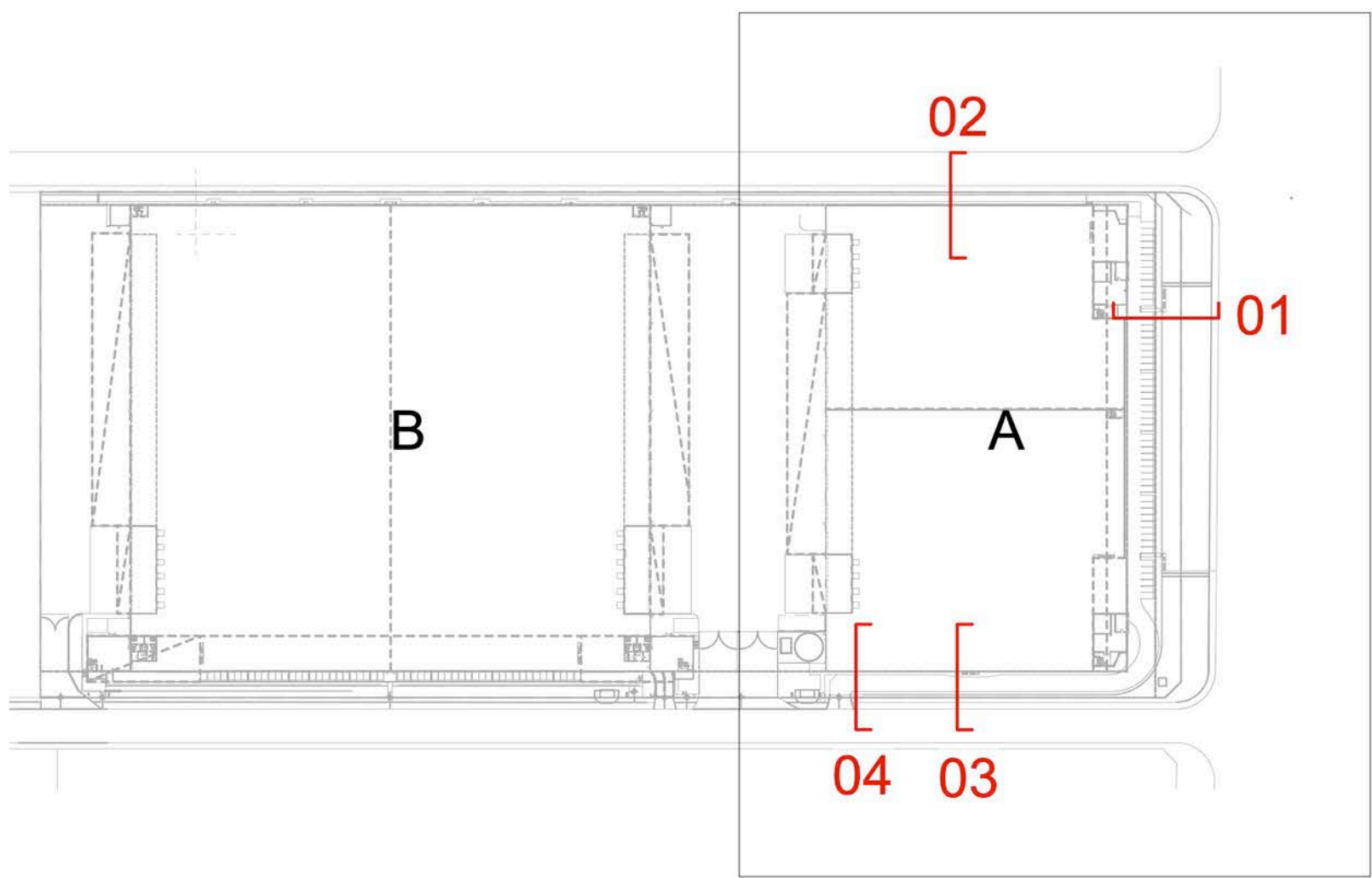
02 WAREHOUSE A
SECTION - SCALE: 1:100@A1



03 WAREHOUSE A
SECTION - SCALE: 1:100@A1



04 WAREHOUSE A
SECTION - SCALE: 1:100@A1



KEY PLAN

DRAWING NUMBER

L.SK.202

PROJECT NUMBER

SD-251-24

DRAWING DATE

17/1/2025

DRAWING NAME

Sections - Warehouse A

SCALE

1:100

SCALE BAR

0 1 2 3 4 5 M

STATUS

DA SUBMISSION

REVISION

H

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PROJECT NAME AND ADDRESS

ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

CLIENT NAME

ESR DEVELOPMENTS (AUST) PTY LTD



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nettleontribe

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Structural Engineer

CRC

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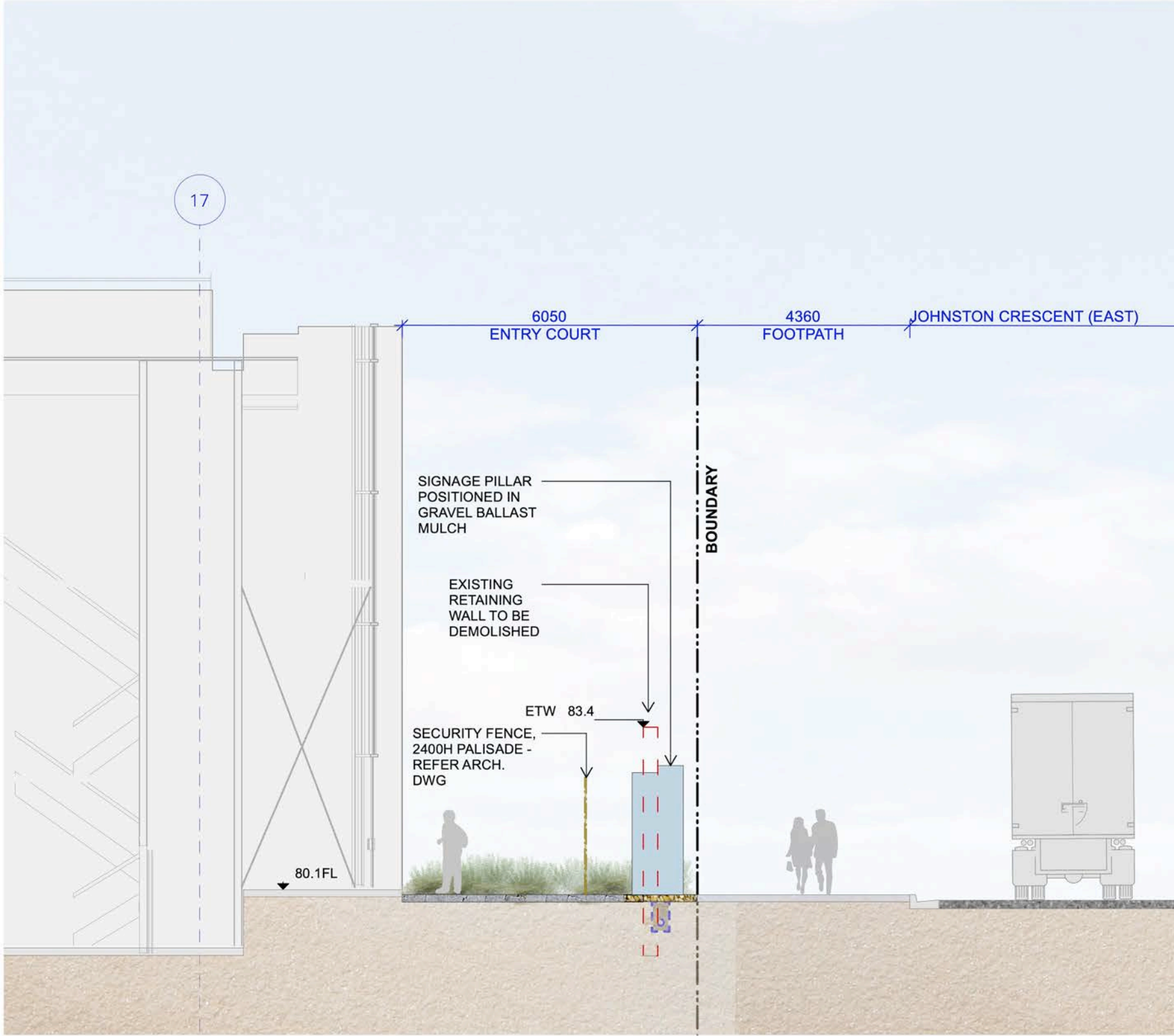
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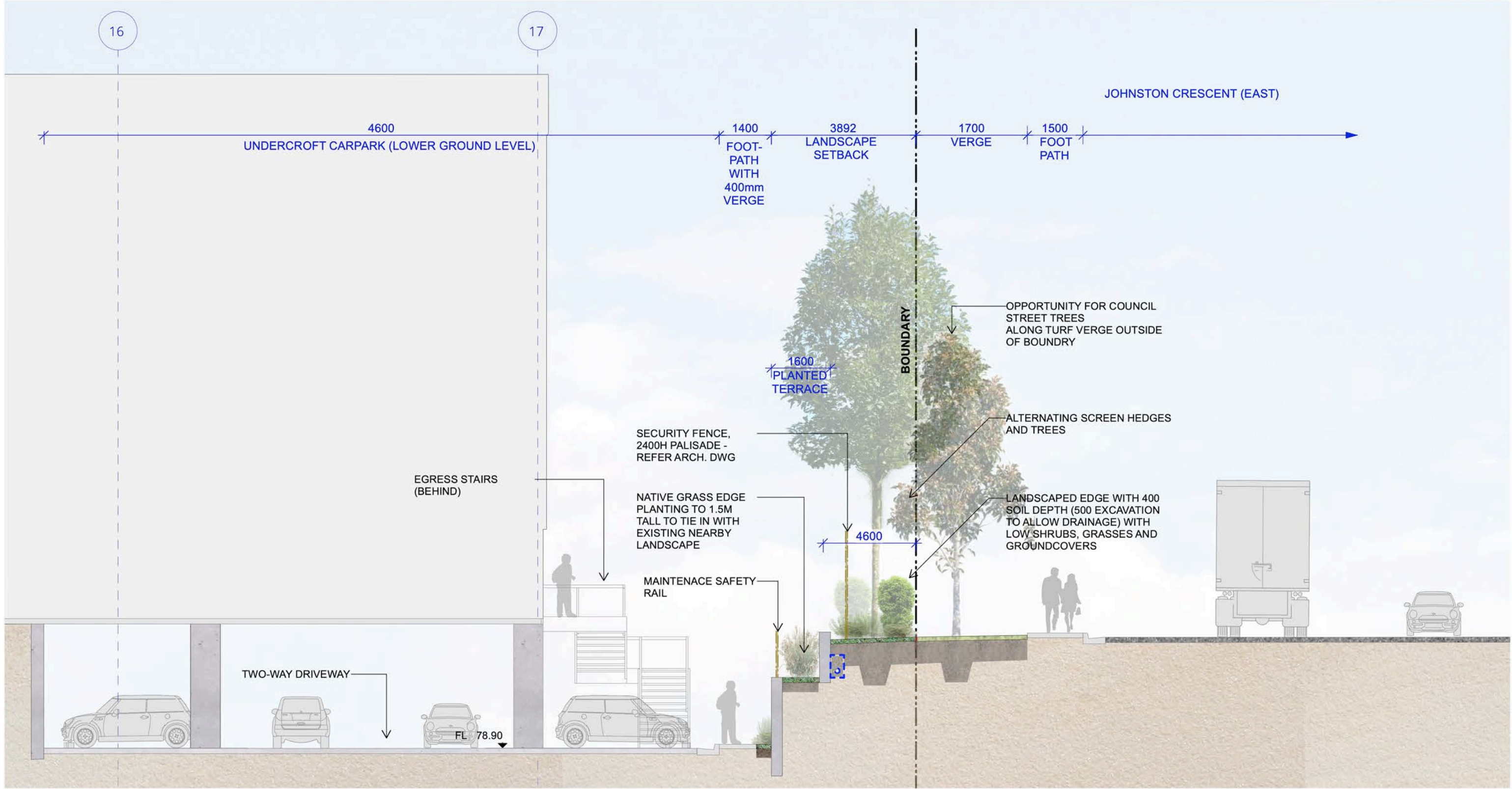
LANDSCAPE ARCHITECTURE

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Manly NSW 2095
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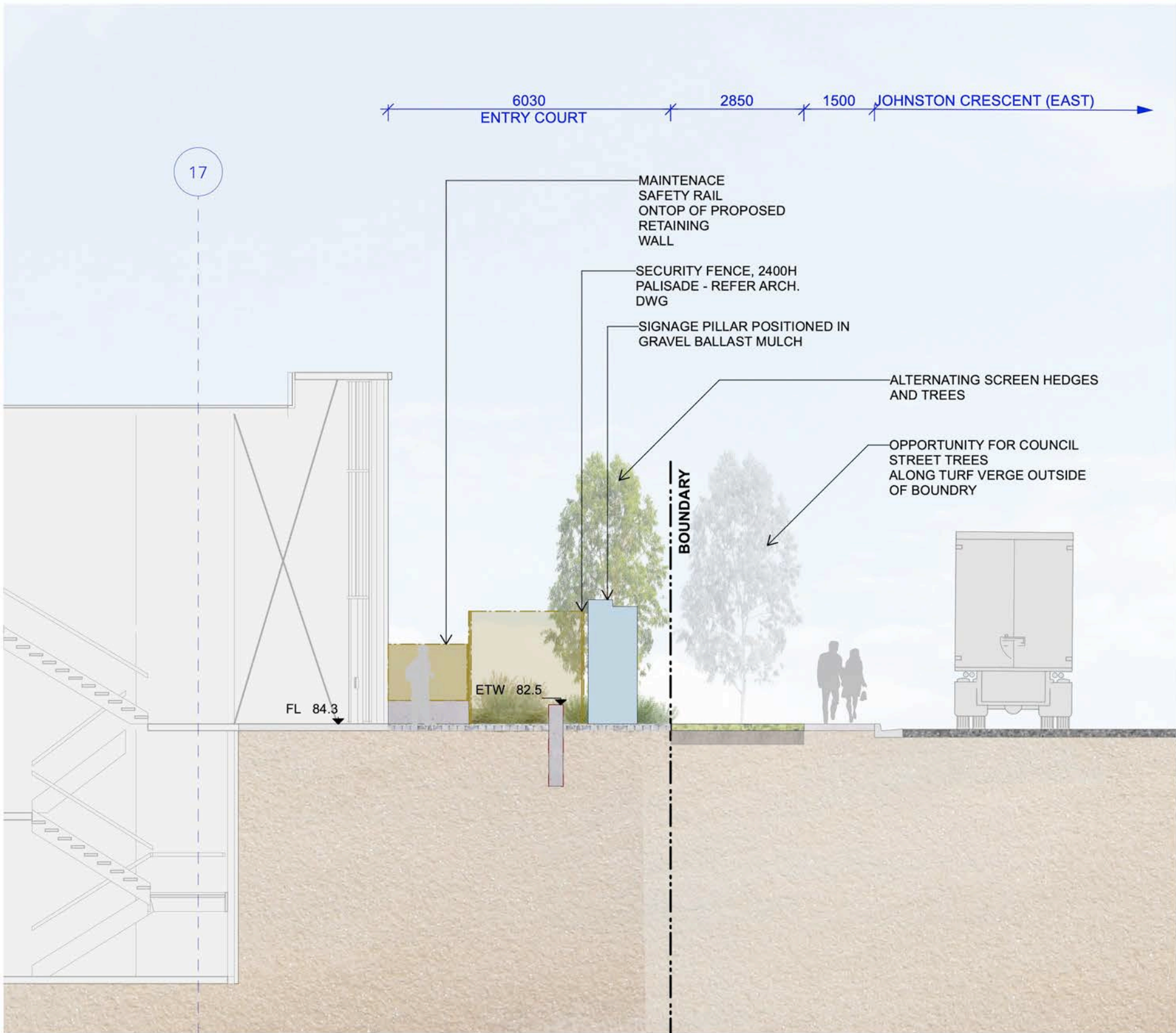
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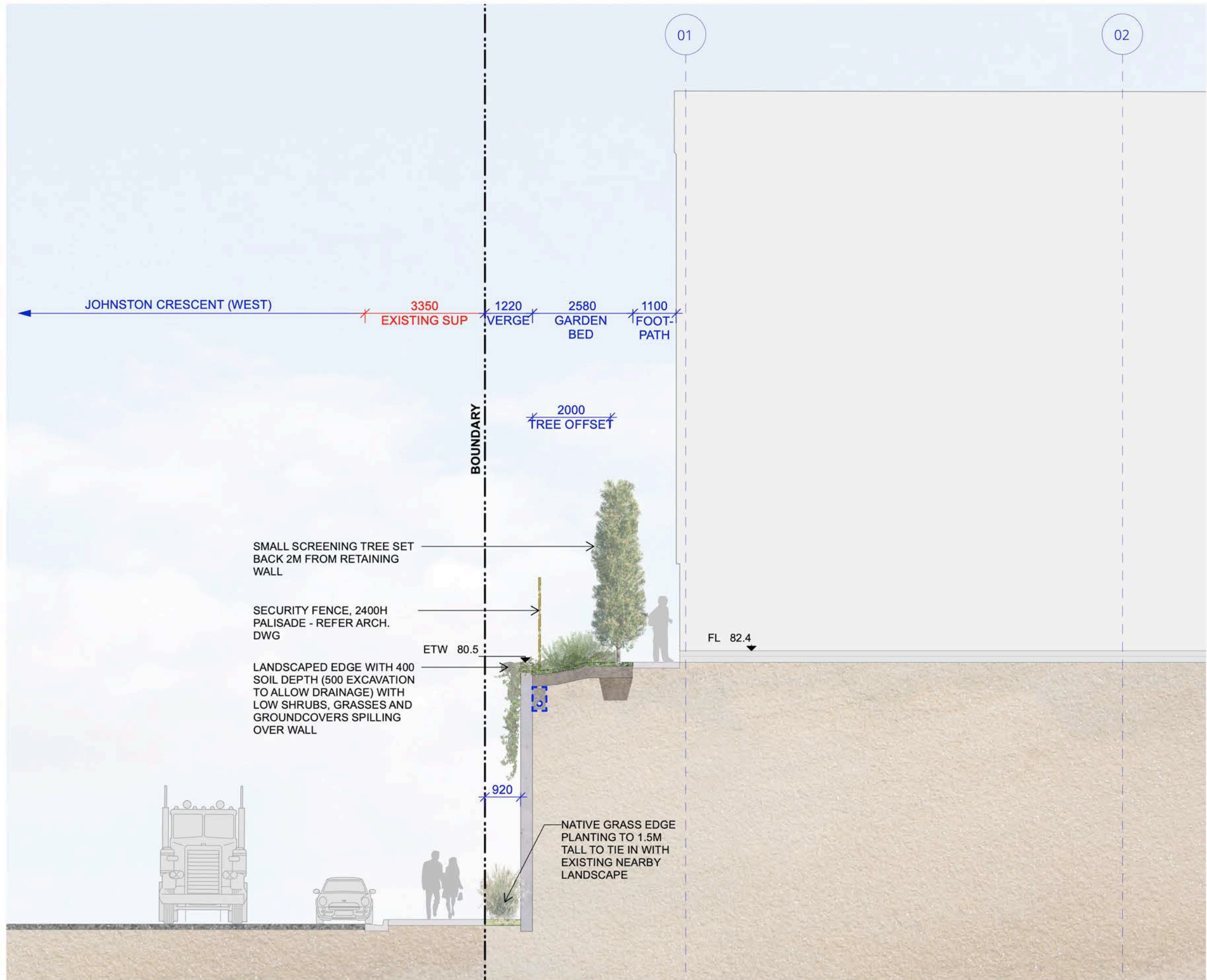
01 OFFICE B1 ENTRY
SECTION - SCALE: 1:100@A1



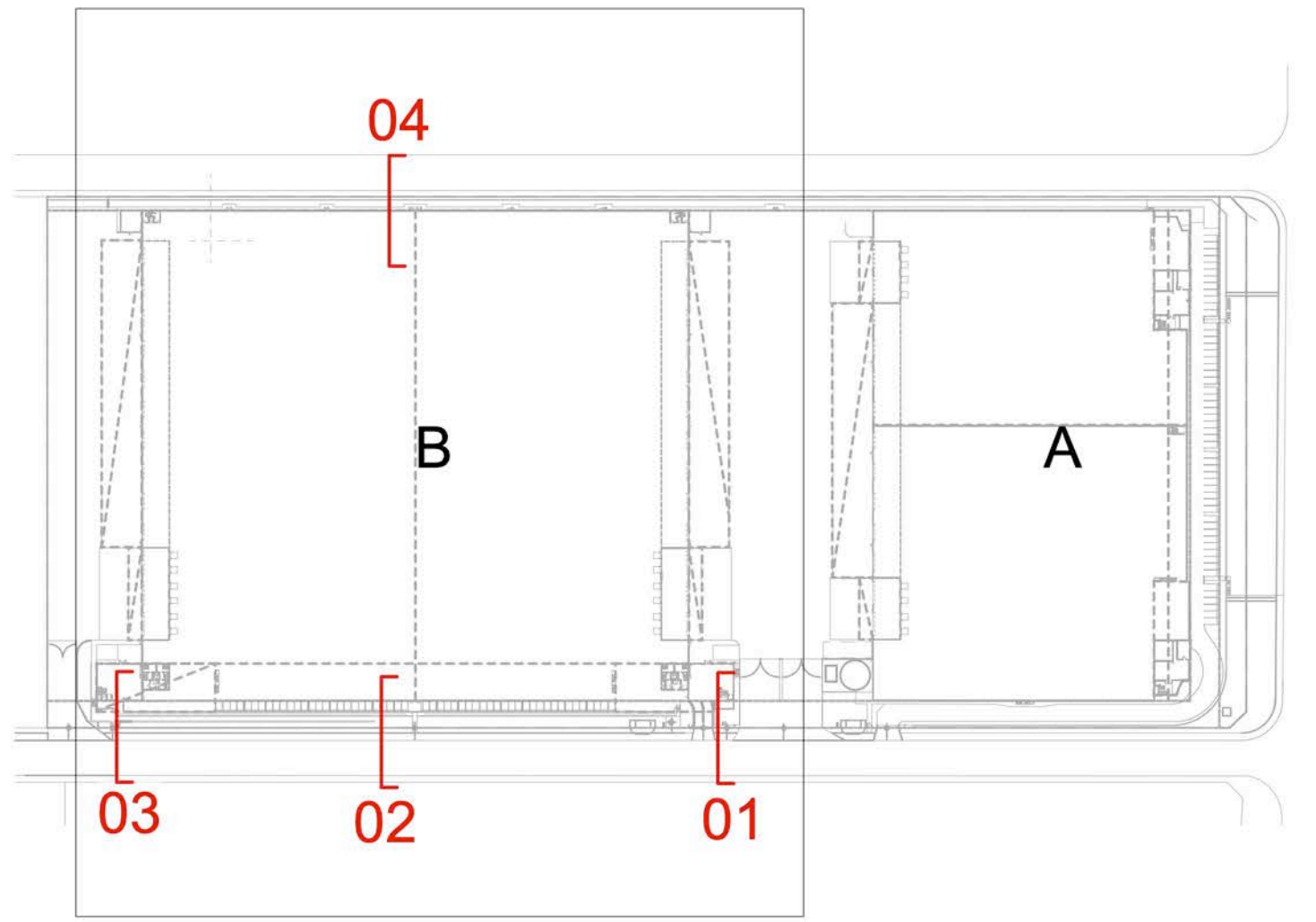
02 OFFICE B1 ENTRY
SECTION - SCALE: 1:100@A1



03 OFFICE B2 ENTRY
SECTION - SCALE: 1:100@A1



04 OFFICE B2 ENTRY
SECTION - SCALE: 1:100@A1



KEY PLAN

DRAWING NUMBER

L.SK.203

PROJECT NUMBER

SD-251-24

DRAWING DATE

17/1/2025

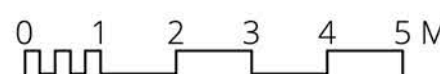
DRAWING NAME

Sections - Warehouse B

SCALE

1:100

SCALE BAR



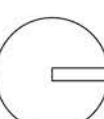
STATUS

DA SUBMISSION

REVISION

H

NP



PROJECT NAME AND ADDRESS

ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

CLIENT NAME

ESR DEVELOPMENTS (AUST) PTY LTD



DRAWN BY

WP

CHECKED BY

CH

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nettleontribe

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Structural Engineer

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COSTIN ROE
CONSULTING

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Point Sydney NSW 2000
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NOT FOR CONSTRUCTION

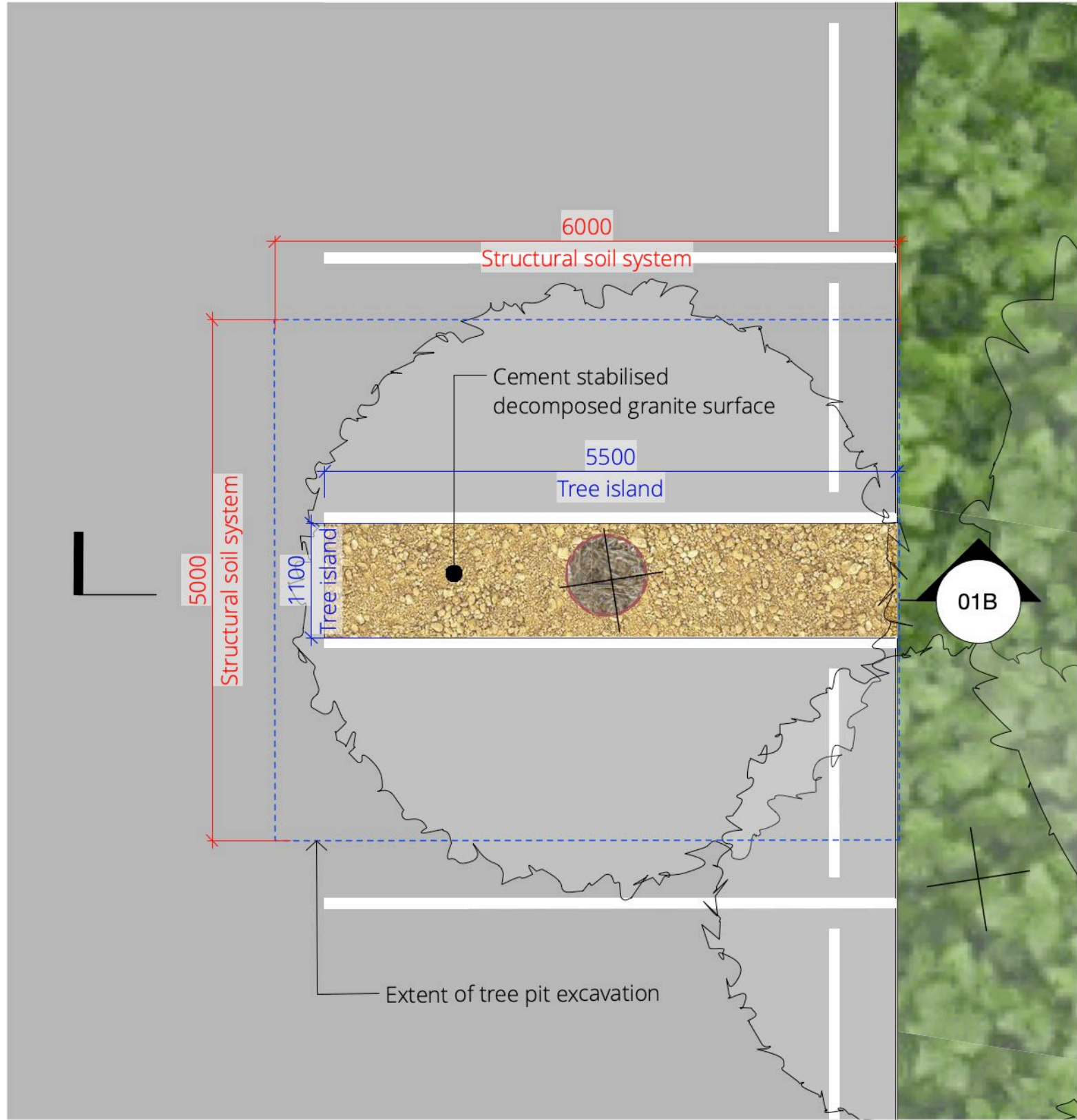
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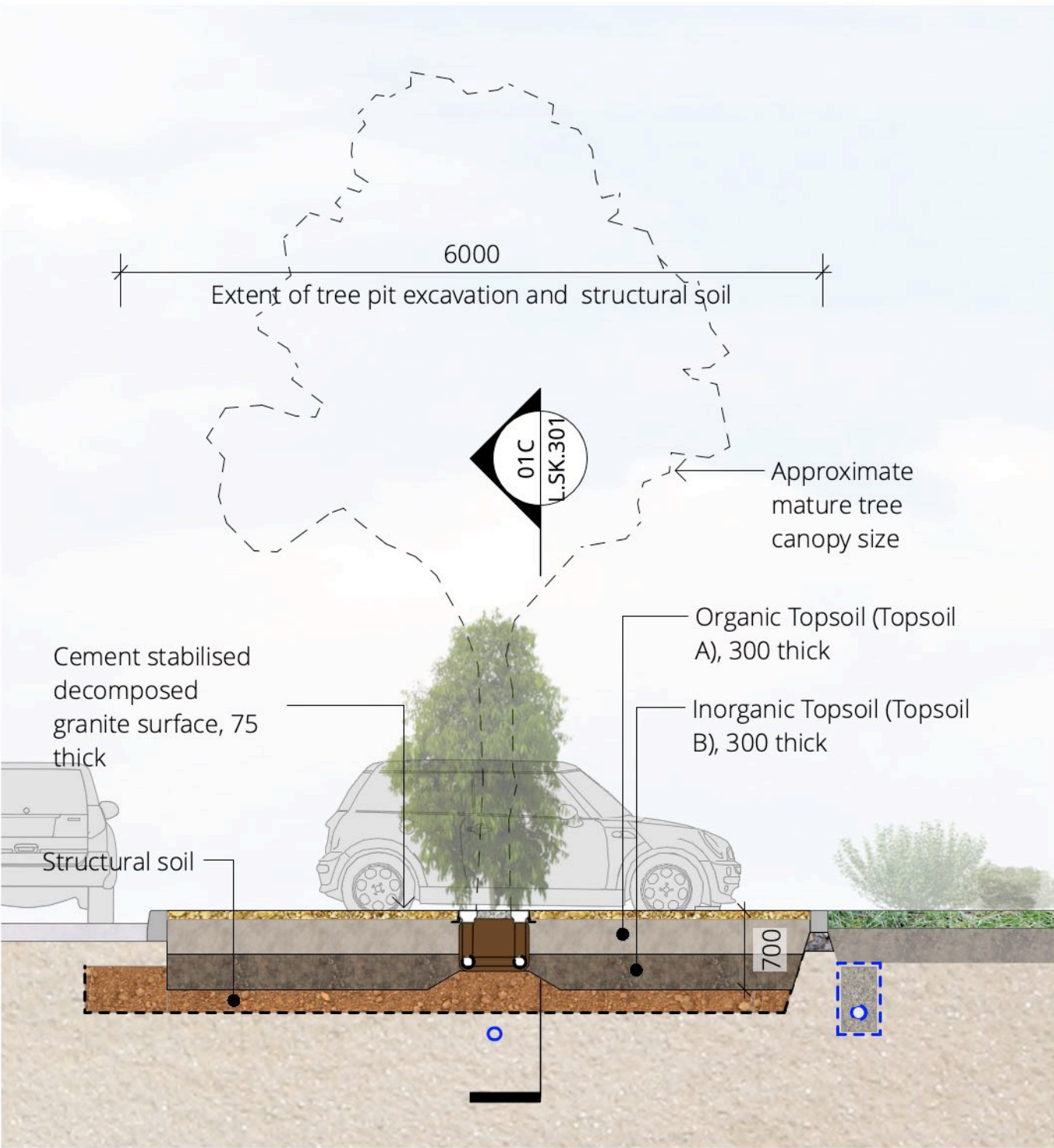
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01A CARPARK TREE PIT - DG ISLAND
DETAIL PLAN - SCALE: 1:50@A1



01B CARPARK TREE PIT
SECTION - SCALE: 1:50@A1

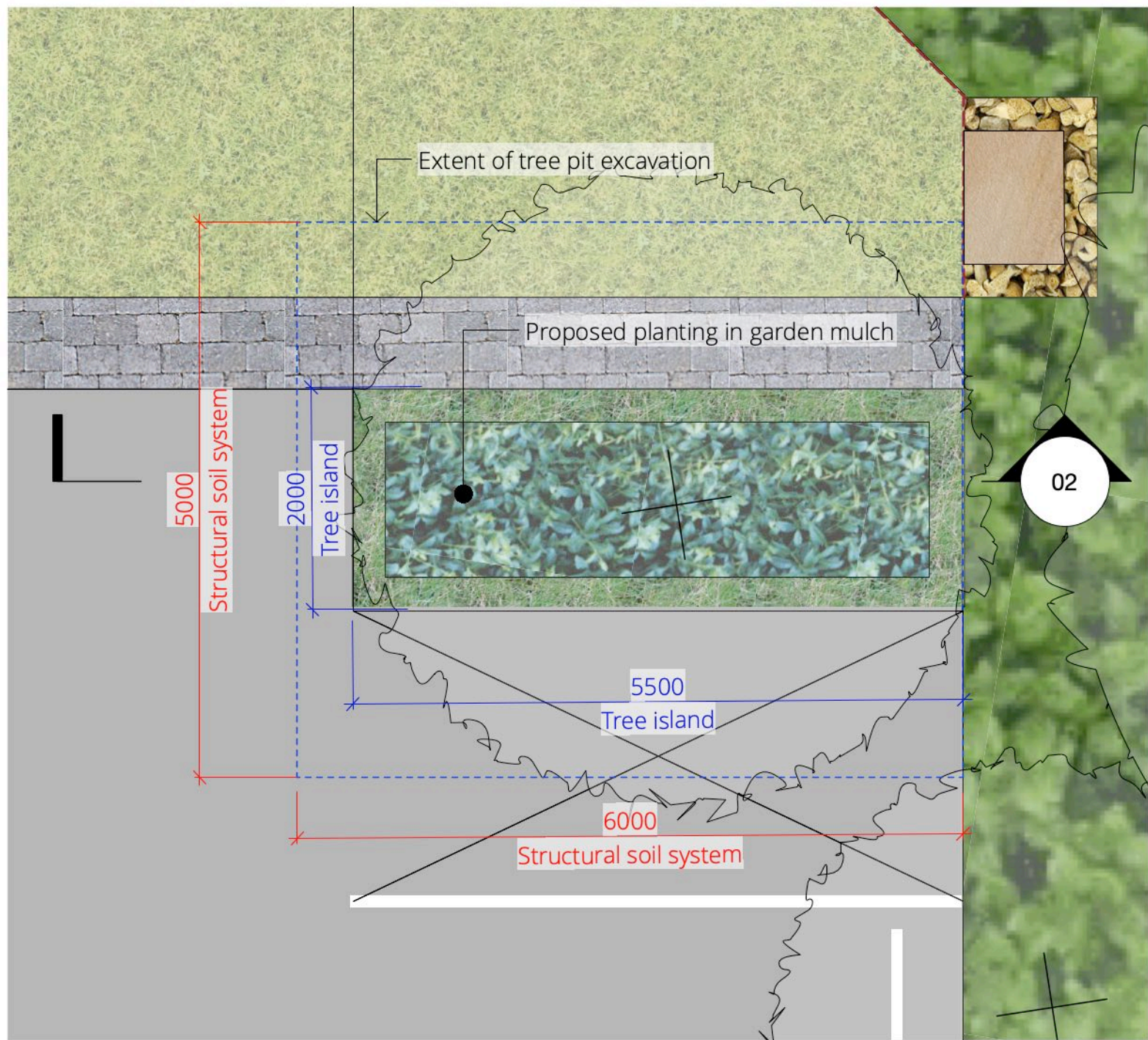
Car park tree pit soil volume notes

Car park islands 1100 wide
Structural soil excavation 5000 wide x 6000 long x 700 deep.
equates to tree soil volume of 21 m³
(excluding 100mm top surface depth).

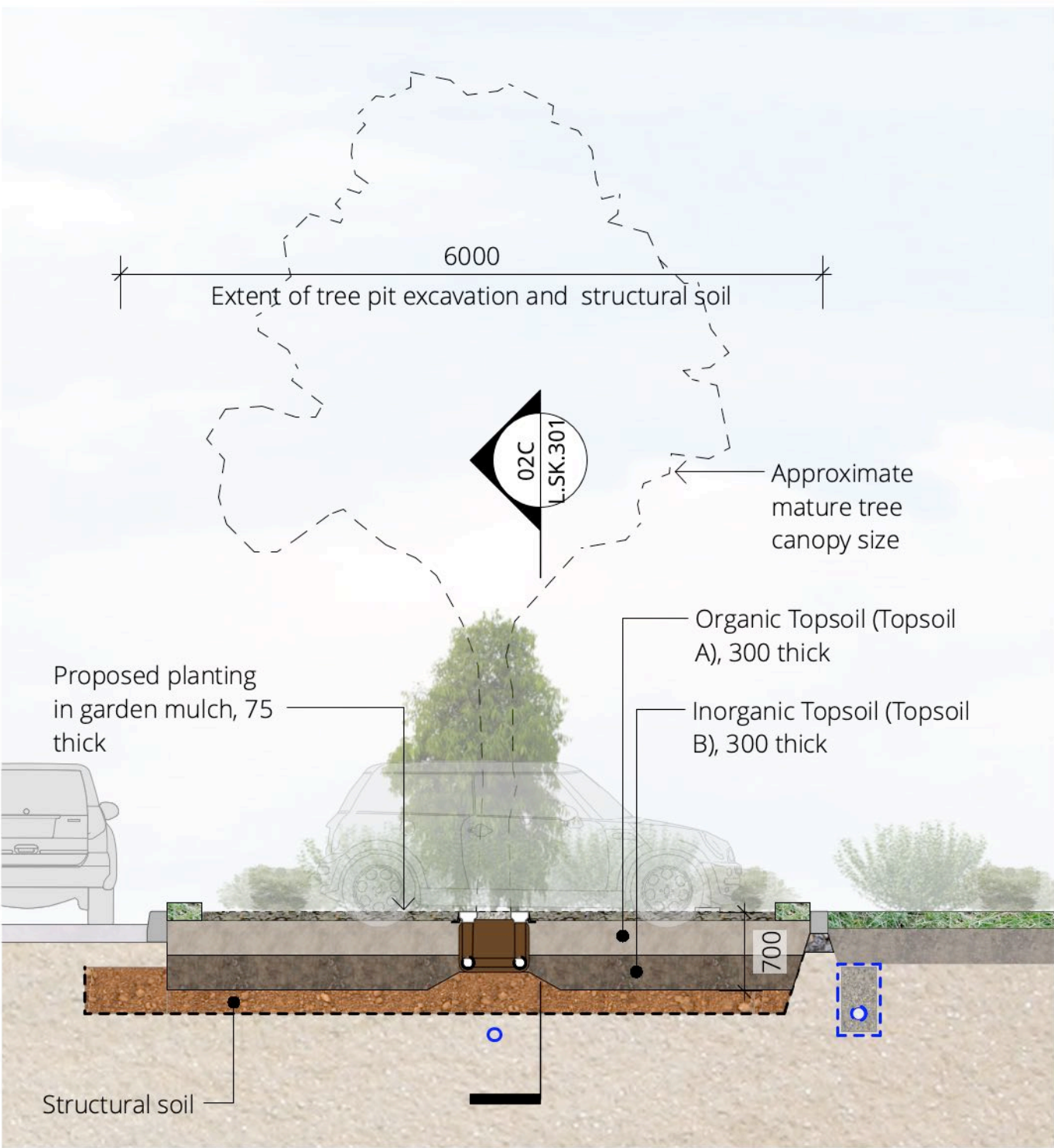
Tree pit excavation soil volume (1100 wide x 5500 long x 1000 deep)
includes the following layers (from top to bottom):

- Horizon A topsoil, 300mm THK
- Horizon B subsoil (site won & ameliorated), 300mm THK
- Structural soil, 400mm THK
- Total depth 1000mm.

Decomposed Granite "Pink" (DG)



02A CARPARK TREE PIT - PLANTING ISLAND
SECTION - SCALE: 1:50@A1



02B CARPARK TREE PIT
SECTION - SCALE: 1:50@A1

Car park tree pit soil volume notes

Car park islands 2000 wide (average)
tree pit excavation
5000 wide x 6000 long x 700 deep.
equates to tree soil volume of 12.6 m³ (with planting
100mm top surface depth).

Tree soil includes the following layers
(from top to bottom):

- Horizon a topsoil, 300mm thk
- Horizon b subsoil (site won & ameliorated), 300mm thk
- Structural soil, 500mm thk
- Total depth 1100mm.



Decomposed Granite Islands



Tree planted & staked, steel rings installed ready for
with aggregate



Completed tree island

Root Director - Planted and DG Islands



Product Code	Dimension A (nom)	Dimension B (nom)	Dimension C (nom)	WSUD
RDC600	600mm	900mm	400mm	No
RDC900	900mm	1200mm	400mm	No

*Note: Product dimensions may change without notice. Please confirm with Citygreen at time of order placement.

DRAWING NUMBER

L.SK.300

PROJECT NUMBER

SD-251-24

DRAWING DATE

17/1/2025

DRAWING NAME

Carpark & Planting Details 01

SCALE

SCALE BAR

STATUS

DA SUBMISSION

REVISION

A

NP



PROJECT NAME AND ADDRESS

ESR Horsley Logistics Park
Lot 3 Horsley Park NSW

CLIENT NAME

ESR DEVELOPMENTS (AUST) PTY LTD



DRAWN BY

AW/TR

CHECKED BY

CH

CONSULTANTS

Architect

nettleontribe

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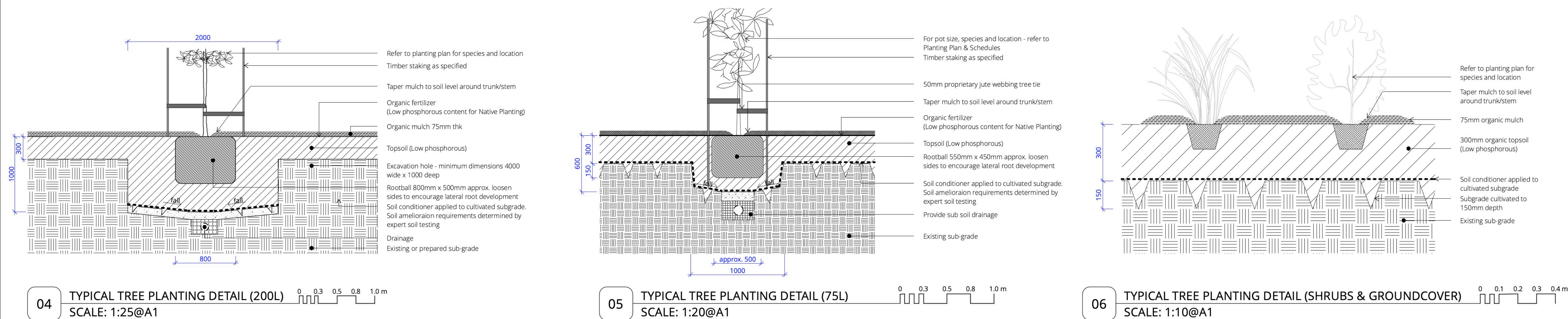
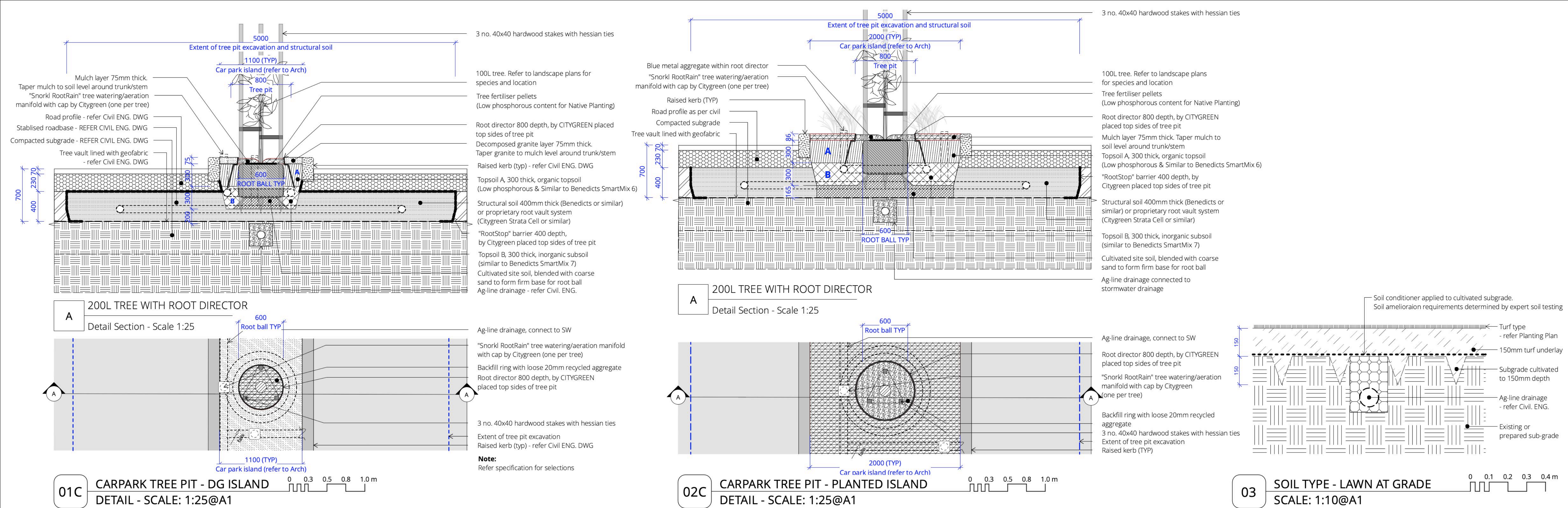
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- NOTES
- All topsoil and fertiliser for native plants to have low phosphorous content.
 - All planted areas to have a minimum 75mm of mulch to retain moisture and help to suppress weed growth.
 - All trees to be a minimum height of 1m at time of planting, substitutions of less than 75L will not be accepted.
 - Following installation, all planting will be under a 12 month Establishment and Maintenance Period contract, where failed trees and plants are to be replaced. Following this 12 month period, client to undertake an on-going Maintenance contract.

DRAWING NUMBER	DRAWING NAME	REVISION	PROJECT NAME AND ADDRESS	CONSULTANTS	DRAWINGS BY
L.SK.301	Carpark & Planting Details 02	A	ESR Horsley Logistics Park Lot 3 Horsley Park NSW	Architect nettleontribe	LANDSCAPE ARCHITECTURE scape DESIGN
PROJECT NUMBER	DRAWING DATE	SCALE	SCALE BAR	CLIENT NAME	LANDSCAPE ARCHITECTURE
SD-251-24	17/1/2025			ESR DEVELOPMENTS (AUST) PTY LTD	Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au
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