

KEY MAP

DRAWINGS BY



LANDSCAPE ARCHITECTURE

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PROJECT

ESR Horsley Logistics Park  
Lot 3 Horsley Park NSW

DRAWING NAME

Coversheet

CLIENT

ESR DEVELOPMENTS (AUST) PTY LTD

PHASE

Development Application  
Landscape Drawing Set

DRAWING REGISTER

DRAWING NUMBER	DRAWING NAME	REVISION	DATE
L.SK.00	Coversheet		
L.SK.01	Landscape Master Plan	G	9/7/24
L.SK.02	Planting Schedule	G	9/7/24
L.SK.03	Materials & Character	G	9/7/24
L.SK.04	Canopy Cover Analysis	G	9/7/24
L.SK.05	Landscape Area Analysis	G	9/7/24
L.SK.06	Irrigation Zone Diagram	G	9/7/24
L.SK.100	Concept Plan - Warehouse A	G	9/7/24
L.SK.101	Concept Plan - Warehouse B	G	9/7/24
L.SK.102	Planting Plan - Warehouse A	G	9/7/24
L.SK.103	Planting Plan - Warehouse B	G	9/7/24
L.SK.200	Detail Plans - Warehouse A	G	9/7/24
L.SK.201	Detail Plans - Warehouse B	G	9/7/24
L.SK.202	Sections - Warehouse A	G	9/7/24
L.SK.203	Sections - Warehouse B	G	9/7/24
L.SK.204	Carpark Details	G	9/7/24

ESR



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Nettleontribe

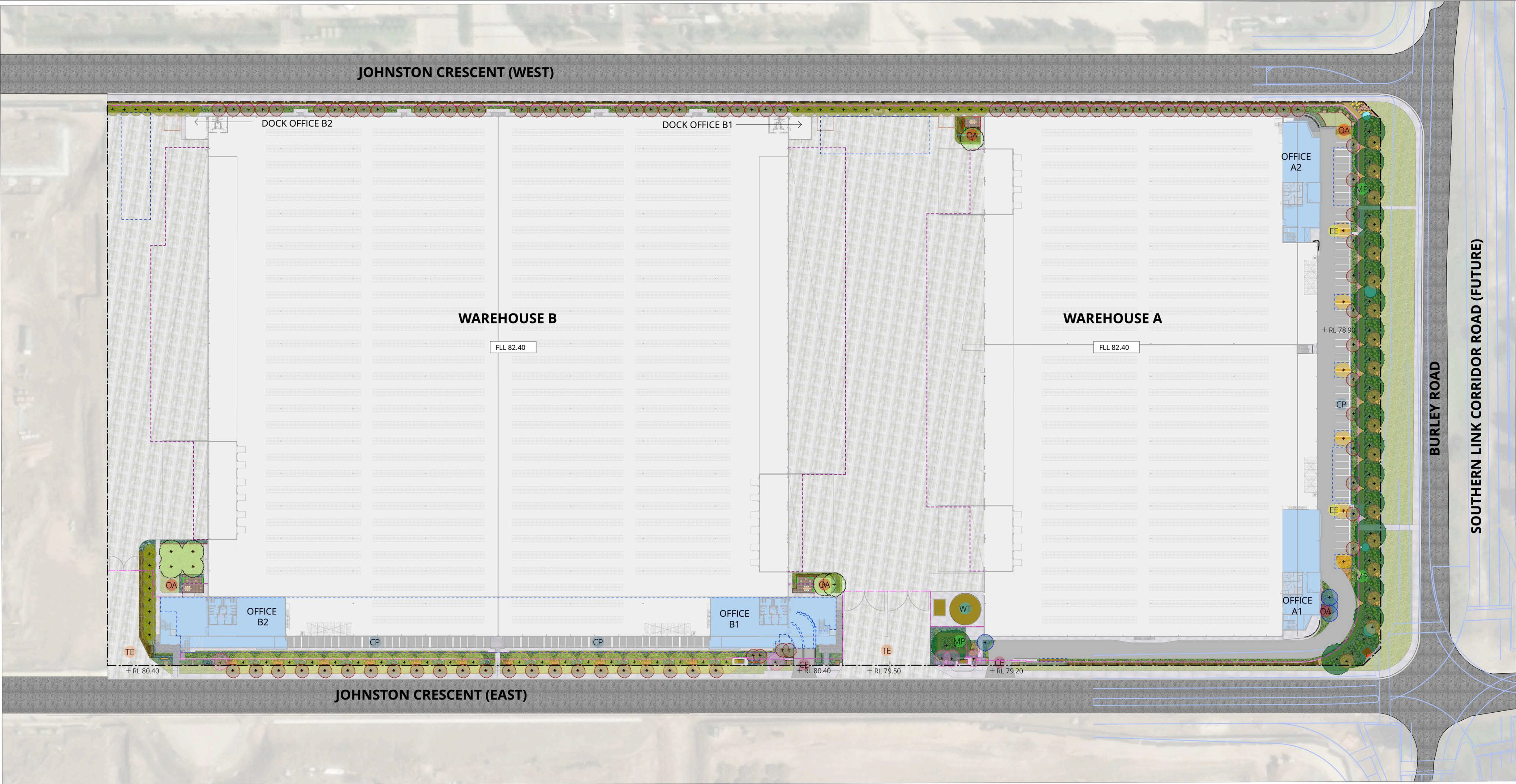
Architect

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Nest NSW 2065  
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Legend	
PROGRAMME	PAVEMENTS
<b>CE</b> Car Entry/Exit	Concrete - Pedestrian and SUP
<b>CP</b> Carparking	Concrete - Vehicular
<b>TE</b> Truck Entry/Exit	Existing concrete footpath
<b>BA</b> Basin	Asphalt - driveway and parking
<b>WT</b> Water Tank	Asphalt - existing road
<b>OA</b> Outdoor Amenity Area	Decomposed Granite - Maintenance Path
<b>EE</b> Emergency Egress	Permeable Paving
<b>MP</b> Maintenance Path	Special Entry Paving
BOUNDARIES	FURNITURE AND FITTINGS
Lot Boundary	Proposed seating
Structure Below	Table setting
Structure Above	Tree Ring w/ mulch
GENERAL	Shade Structure
Building	LED Uplight
Office	Entry Marker
Demolition	Estate Signage
Services	Sandstone Seating
Existing Area Refurbished	Small Table
Southern Link Corridor (Future)	PLANTING
LEVELS AND CONTOURS	TF1-General Turf
+ RL 0.0 Reduced level	PM1A-Car park edge mix-sun
Top of wall	PM1B-Native groundcover mix
Bottom of wall	PM6A-Feature shrub mix-sun
Contour major	PM6B-Hedge mix-sun
Ramp	PM7A-Groundcover mix A
Proposed stairs	PM7B-Groundcover mix B
DRAINAGE TYPE	PM12-Native Groundcover mix
Sewer	PM13-Native grass mix
Drainage type 01	PM14-Entry climber mix
Subsoil drainage	TREES
Refer CIVIL ENG.	fraxinus urbanite shown at mature size
Drainage type 03	Cupaniopsis anacardioides shown at mature size
Grated pit	Lagerstroemia 'Natchez' shown at mature size
Refer CIVIL ENG.	Elaeocarpus eumundii shown at mature size
WALLS & EDGES	Tristaniopsis laurina shown at mature size
Existing wall	Eucalyptus tereticornis shown at mature size
Weathering steel edge	Magnolia grandiflora 'Exmouth' shown at mature size
Proposed flush concrete kerb	Melaleuca linariifolia shown at mature size
Proposed raised concrete kerb	Pyrus calleryana 'Capital' shown at mature size
Proposed Retaining Wall	
RAILS AND FENCING	
Trellis screen	
Waste Storage Area	
Fencing - general	
Maintenance Safety Rail	

NOTES:

- FOR WAREHOUSE A, REFER TO DRAWING LSK.100
- FOR WAREHOUSE B, REFER TO DRAWING LSK.101

DRAWING NUMBER	DRAWING NAME	REVISION	PROJECT NAME AND ADDRESS	CONSULTANTS	DRAWINGS BY
<b>LSK.01</b>	Landscape Master Plan	<b>G</b>	ESR Horsley Logistics Park Lot 3 Horsley Park NSW	<b>Architect</b>  nettleontribe	<b>scape</b> LANDSCAPE ARCHITECTURE DESIGN Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au
PROJECT NUMBER	DRAWING DATE	SCALE	SCALE BAR	STATUS	NP
SD-251-24	9/7/2024	1:750	0 5 10 15 20 25 30 35 M	<b>DRAFT</b>	
				CLIENT NAME	
				ESR DEVELOPMENTS (AUST) PTY LTD	
				CLIENT NAME	
				ESR DEVELOPMENTS (AUST) PTY LTD	
				DRAWN BY	<b>AW</b>
				CHECKED BY	<b>CH</b>
				CONSULTANTS	
				Architect	
				nettleontribe	
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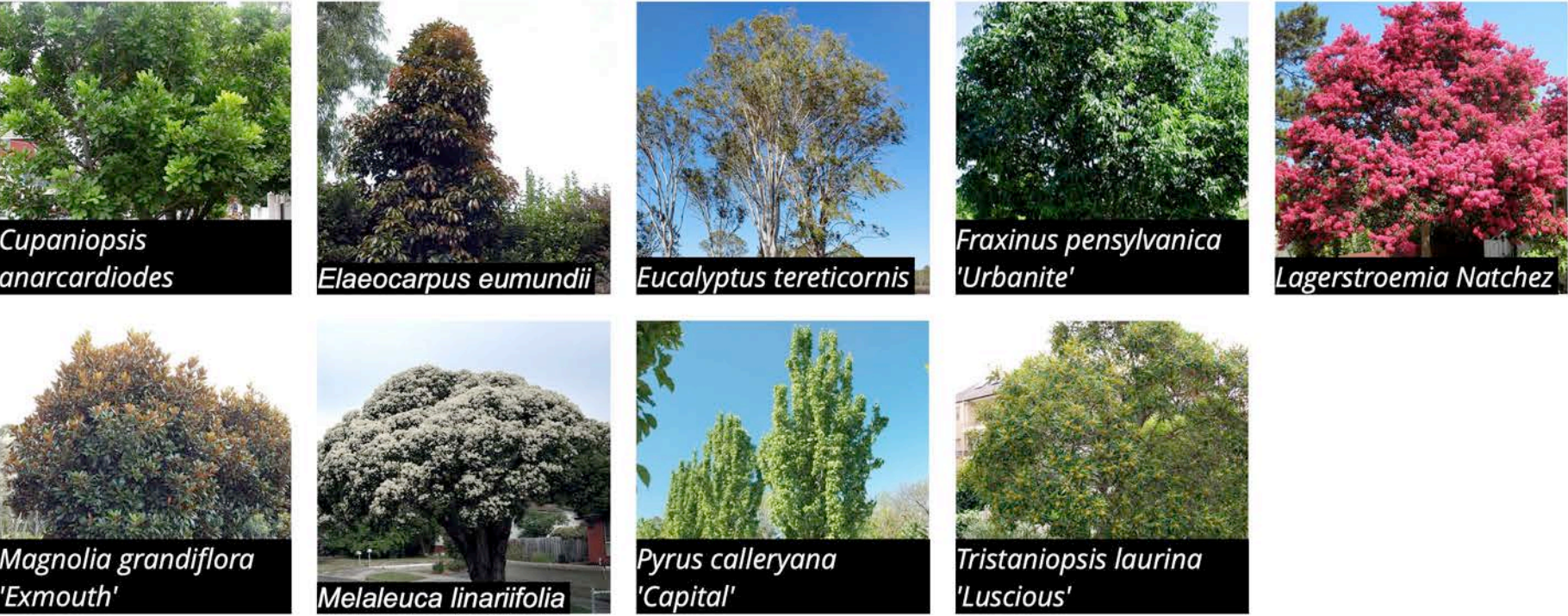
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PLANT SCHEDULE							PLANT SCHEDULE (NATIVE)		
BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	POT SIZE	RATE (per m2)	QUANTITY	BOTANICAL NAME	COMMON NAME	COMMON NAME
Proposed trees							Proposed trees		
<i>Cupaniopsis anacardioides</i>	Tuckeroo	10	6	75L	As Shown	7	<i>Acmena smithii</i>	Lillypilly	TREE
<i>Elaeocarpus eumundii</i>	Eumundi Quandong	15	5	75L	As Shown	13	<i>Callistemon viminalis</i>	'Hanna Bay' Weeping Bottlebrush	1A
<i>Elaeocarpus eumundii</i>	Eumundi Quandong	10	5	75L	As Shown	78	<i>Eucalyptus tereticornis</i>	Forest Red Gum	TREE
<i>Eucalyptus tereticornis</i>	Forest Red Gum	30	11	75L	As Shown	23	<i>Correa alba</i>	White Correa	3B
<i>Fraxinus pensylvanica</i> 'Urbanite'	Urbanite Ash	15	8	75L	As Shown	21	<i>Melaleuca linarifolia</i>	Snow in Summer	TREE
<i>Lagerstroemia</i> 'Natchez'	Crepe myrtle	6	6	200L	As Shown	5	<i>Melaleuca nodosa</i>	Ball Honeymyrtle	TREE
<i>Magnolia grandiflora</i> 'Exmouth'	Bull Bay Magnolia	30	8	75L	As Shown	7	<i>Melaleuca quinquenervia</i>	Broad-leafed Paperbark	TREE
<i>Melaleuca linarifolia</i>	Snow-in-Summer	10	5	45L	As Shown	33	<i>Tristaniopsis laurina</i>	Water Gum	TREE
<i>Pyrus calleryana</i> 'Capital'	Capital Flowering Pear	10	6	75L	As Shown	4	<b>NOTE:</b>		
<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	8	5	25L	As Shown	20	<i>The above species are extracted for use on the project from Fairfield City Council's DCP Appendix F</i>		
PM1A-Car park edge mix sun							Area = 609.9 sq.m		
<i>Callistemon viminalis</i> 'Little John'	Little John Bottlebrush	0.61	0.8	140mm	4	811			
<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	75mm	4	811			
<i>Trachelospermum jasminoides</i>	Star Jasmine	1.2	1	140mm	4	811			
PM1B-Site edge mix shade							Area = 142.0 sq.m		
<i>Callistemon</i> 'White Anzac'	Bottlebrush	1	2	140mm	4	188			
<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	4	188			
<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	4	188			
PM6A-Feature shrub mixn sun							Area = 96.5 sq.m		
<i>Anigozanthos</i> 'Red Cross'	Red Cross Kangaroo Paws	1.5	1.5	140mm	4	79			
<i>grevillea rosmarinifolia</i> x <i>grevillea juniperina</i>	Grevillea 'Pink Pearl'	2	3	140mm	4	79			
<i>Loropetalum chinense</i> 'Plum Gorgeous'	Loropetalum Plum Gorgeous	1	1.2	140mm	4	79			
<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Sacred Bamboo	0.75	0.75	140mm	4	79			
<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawtho	1	1	140mm	4	79			
PM6B-Hedge mix-sun							Area = 284.0 sq.m		
<i>Acmena smithii</i> 'Fire Screen'	Creek Lilly Pilly	2	1.2	300mm	4	568			
<i>Viburnum odoratissimum</i>	Sweet Viburnum	4	4	140mm	4	568			
PM7A-Groundcover mix A							Area = 562.4 sq.m		
<i>Callistemon citrinus</i> 'White Anzac'	Bottlebrush	1	1	140mm	4	447			
<i>Carpobrotus glaucescens</i>	Pig Face	0.1	0.6	140mm	4	447			
<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	4	447			
<i>Grevillea lanigera</i> 'Mt Tamboritha'	Mt Tamboritha Grevillea	0.3	1	140mm	4	447			
<i>Hibbertia scandens</i>	Climbing Guinea-Flower	2	2	140mm	4	447			
PM7B-Groundcover mix B							Area = 561.7 sq.m		
<i>Callistemon hybrid</i> 'Calkwr' PBR	Red rover Callistemon	0.4	1.5	140mm	4	450			
<i>Grevillea juniperina</i> 'Molonglo'	Grevillea	0.8	3	150mm	4	450			
<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Sacred Bamboo	0.75	0.75	140mm	4	450			
<i>Trachelospermum jasminoides</i>	Star Jasmine	1.2	1	140mm	4	450			
<i>Trachelospermum jasminoides</i> 'tricolor'	Tricolor Star Jasmine	0.5	1	140mm	4	450			
PM12-Native groundcover mix							Area = 1865.5 sq.m		
<i>Kennedia rubicunda</i>	Dusky Coral-pea	1	2	140mm	4	2485			
<i>Kunzea ambigua</i>	White Kunzea	4	1.6	140mm	4	2485			
<i>Scaevola albida</i> 'Blue Mist'	'Blue Mist' Fan Flower	0.3	1	140mm	4	2485			
PM13-Native grass mix							Area = 612.4 sq.m		
<i>Dianella caerulea</i>	Flax-lily	0.6	0.8	140mm	4	816			
<i>Lomandra confertifolia</i> 'Little Con'	Little Con	0.3	0.3	140mm	4	816			
<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8	1	140mm	4	816			
PM14B-Entry Climber mix							Area = 16.0 sq.m		
<i>Dianella caerulea</i>	Flax-lily	0.5	0.5	75mm	5	40			
<i>Pandorea pandorana</i> 'Snowbells'	Wonga Wonga Vine	0.1	1	Seed	5	40			
TF1-General Turf							Area = 3470.4 sq.m		
<i>Stenotaphrum secundatum</i> 'Sir Walter'	Sir Walter Buffalo	0.05	0.05	Turf Roll	0	1391			

## PLANTING PALETTE

### PROPOSED TREES



### PM1A



### PM1B



### PM6A



### PM6B



### PM7A



### PM7B



### PM12



### PM13



### PM14B



### TF1



DRAWING NUMBER		DRAWING NAME		REVISION		PROJECT NAME AND ADDRESS		CONSULTANTS		DRAWINGS BY	
L.SK.02		Planting Schedule		G		ESR Horsley Logistics Park Lot 3 Horsley Park NSW		Architect  nettleontribe		scape DESIGN LANDSCAPE ARCHITECTURE  Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au	
PROJECT NUMBER		DRAWING DATE		SCALE		SCALE BAR		STATUS		NP	
SD-251-24		9/7/2024						DRAFT			

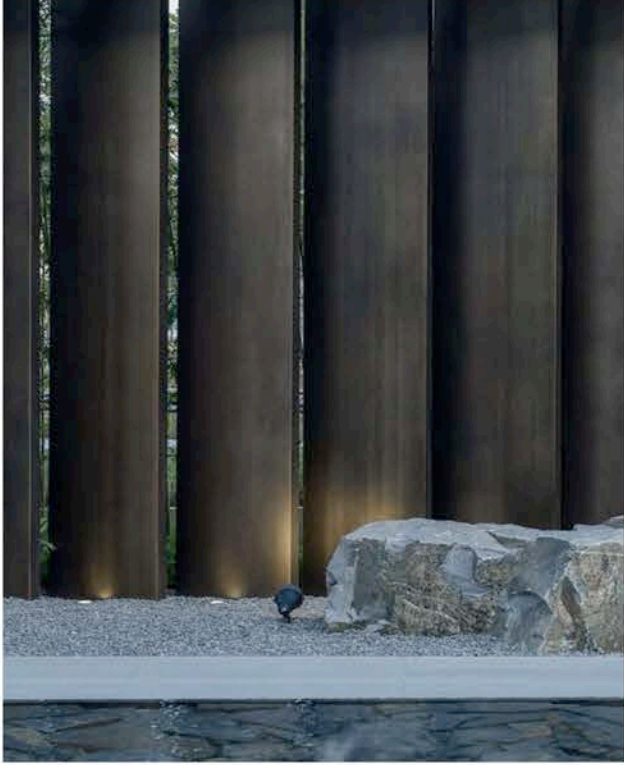


Character

Entry Feature Options



Framed vertical louvre



Framed vertical louvre (detail)



Sandstone logs (Landscape seats & bollards)



Stylised timber cladding

Breakout space



Shared seating



Exposed timber batton pergola



Green wall (tensile)



Mesh trellis with climber

Material



Permeable paving (Ecohitrex pavers)



Decomposed granite



Flush concrete kerbs

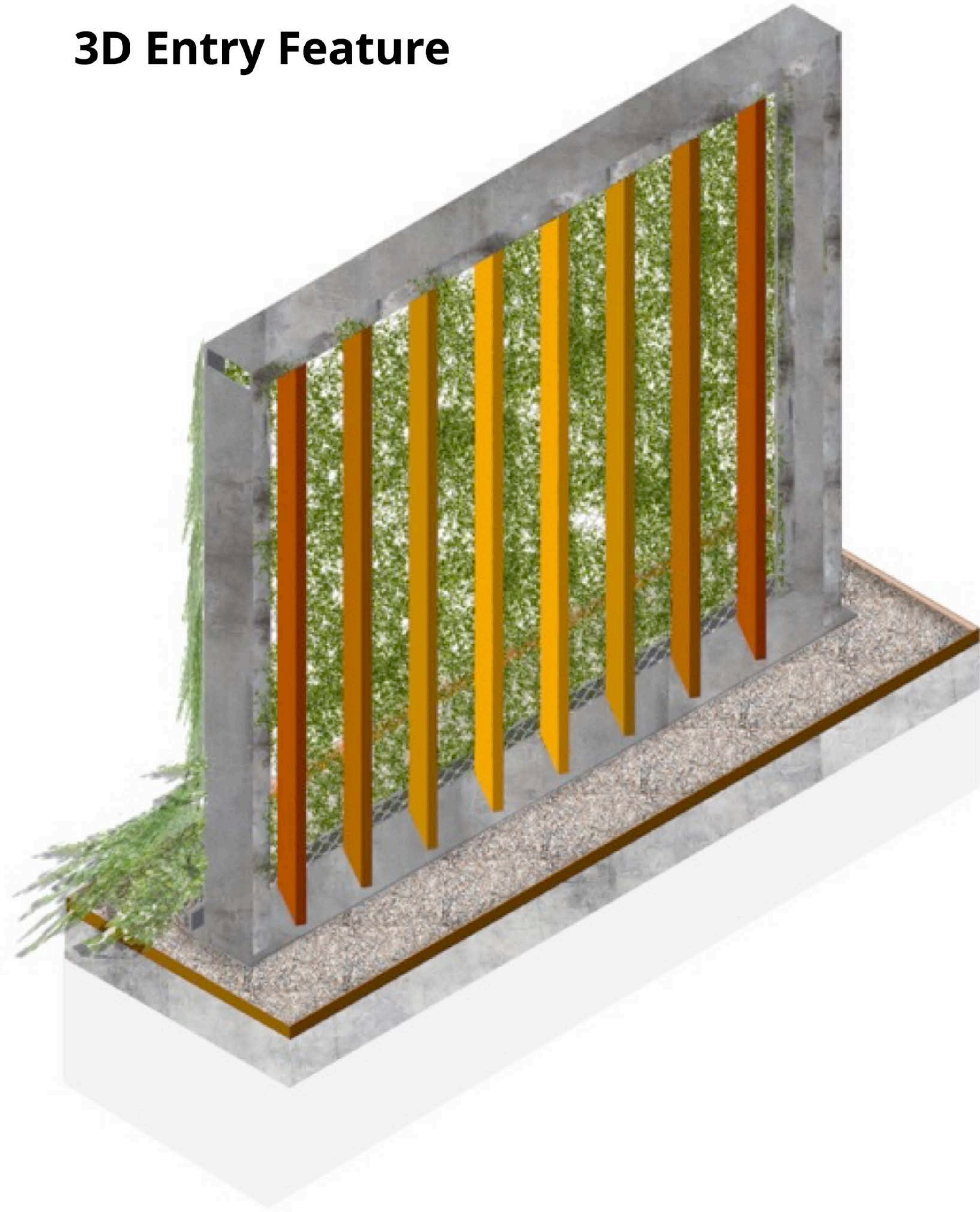


Basalt rock mulch



Sandstone spalling rock mulch

3D Entry Feature



Landscape Design Statement

Landscape Design Statement -Lot 3 Horsley Park N.S.W – SCAPE Design

The landscape design prepared for Lot 3 Horsley Park, N.S.W, aims to set a standard of public domain outcomes and resilient landscapes. In order to achieve this high standard of development, the design meets and/or exceeds the key objectives of the NSW Planning *Mamre Road Precinct DCP, Greener Places* and *Urban Tree Canopy* Guidelines, as well as other guidelines relevant to Western Sydney.

The creation of resilient industrial landscapes is achieved in the first instance by maximising tree planting in order to mitigate heat island effects caused by large expanses of pavement and to screen built form. The on-lot development will incorporate XXX native and XX exotic trees in order achieve a XX% canopy coverage and address these requirements. A further XXX local native tree species are proposed for the public domain in order to achieve a minimum of XXX% canopy coverage to public domain areas.

Permeable surfaces comprising a combination of native, endemic and carefully selected exotic vegetation, shade and drought tolerant turf species and gravel, will be maximised in order to reduce run-off. Plant species are also to be low maintenance and adaptable to a range of climatic conditions, ensuring all new landscaped areas are water sensitive and tolerant of the harsh Western Sydney climate.

The generous landscape setbacks will foster a clustered, yet dense approach to tree planting, primarily with native and endemic species, which will provide visual screening to the immediate neighbours of the site, road users, cyclists on shared paths and pedestrians and as well as longer range views. When combined with the proposed estate streetscape design, large, meaningful strips of canopy trees with mass planting of shrubs and groundcovers will form a dense vegetative screen for the development. Once within the site, feature trees assist with wayfinding by helping to define the building entry points. Wayfinding will be further emphasised by the provision of feature entry markersadjacent to entries to accompany estate signage.

Overall, the landscape approach aspires to achieve the environmental and planning requirements, while also providing a memorable landscape contribution to this increasingly industrialised precinct. The health and function of the landscape has been considered during the design period and assumes skilful and careful installation, establishment and ongoing maintenance that tapers off over time once the landscape has acclimatised and is resilient to fluctuations in climate and usage.

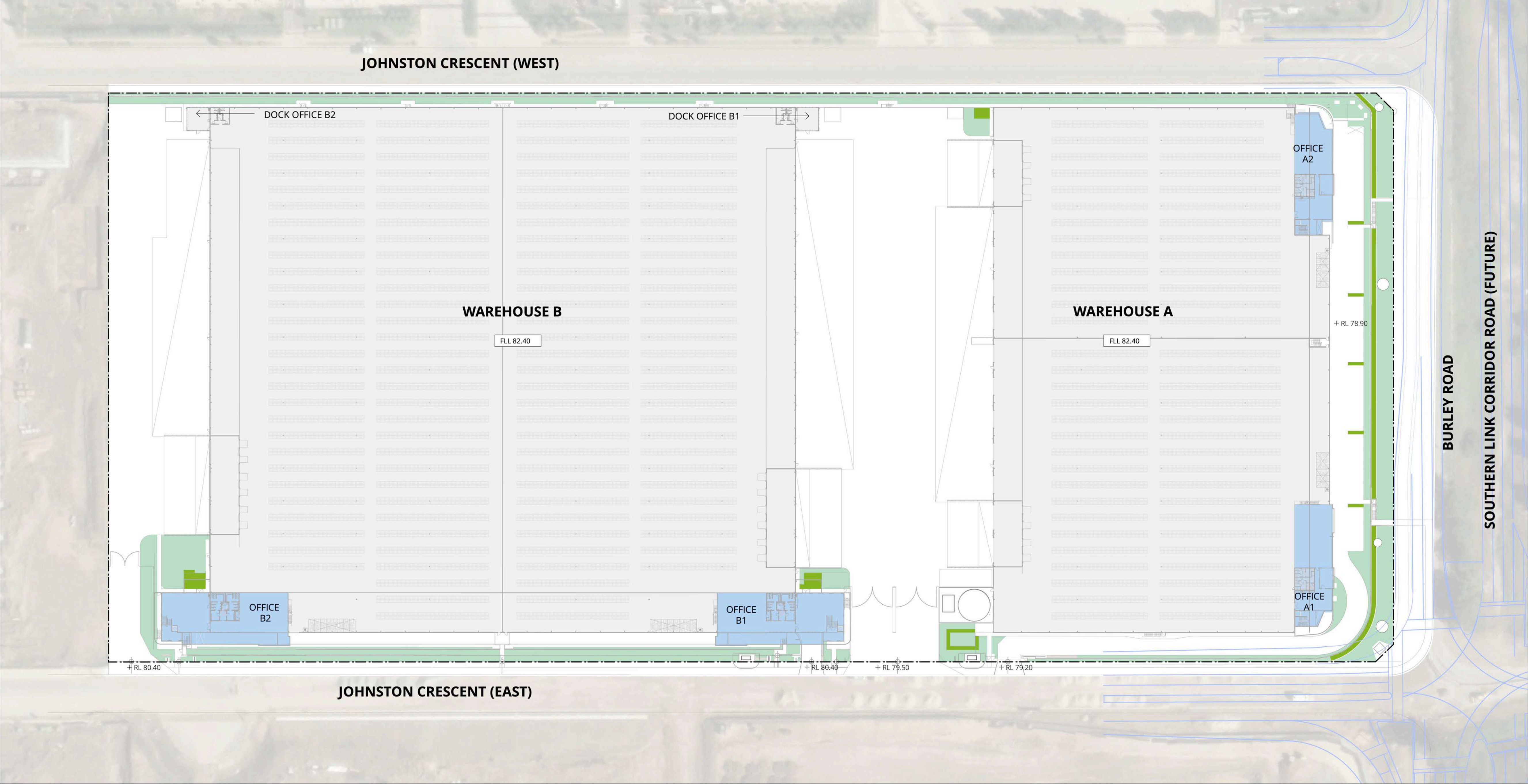
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L.SK.03		Materials & Character		G	
PROJECT NUMBER	DRAWING DATE	SCALE	SCALE BAR	STATUS	NP
SD-251-24	9/7/2024			DRAFT	

PROJECT NAME AND ADDRESS	
ESR Horsley Logistics Park Lot 3 Horsley Park NSW	
CLIENT NAME	
ESR DEVELOPMENTS (AUST) PTY LTD	
CLIENT LOGO	
DRAWN BY	AW
CHECKED BY	CH

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**Legend**

- Lot boundary
- Southern Link Corridor (Future)

**LANDSCAPE AREA ANALYSIS**

- Building
- Office Areas
- Permeable landscape area
- Permeable paving area

Landscape Area	
Lot Area (m2)	86,728
Permeable Paving (m2)	468
Landscape Area (m2)	4,914
Total landscape and Permeable Paving Area	5,382
Landscape Area - % of Lot	6.21%

DRAWING NUMBER

L.SK.04

PROJECT NUMBER

SD-251-24

DRAWING DATE

9/7/2024

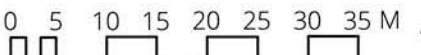
DRAWING NAME

Landscape Area Analysis

SCALE

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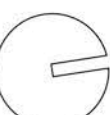
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ESR Horsley Logistics Park  
Lot 3 Horsley Park NSW

CLIENT NAME

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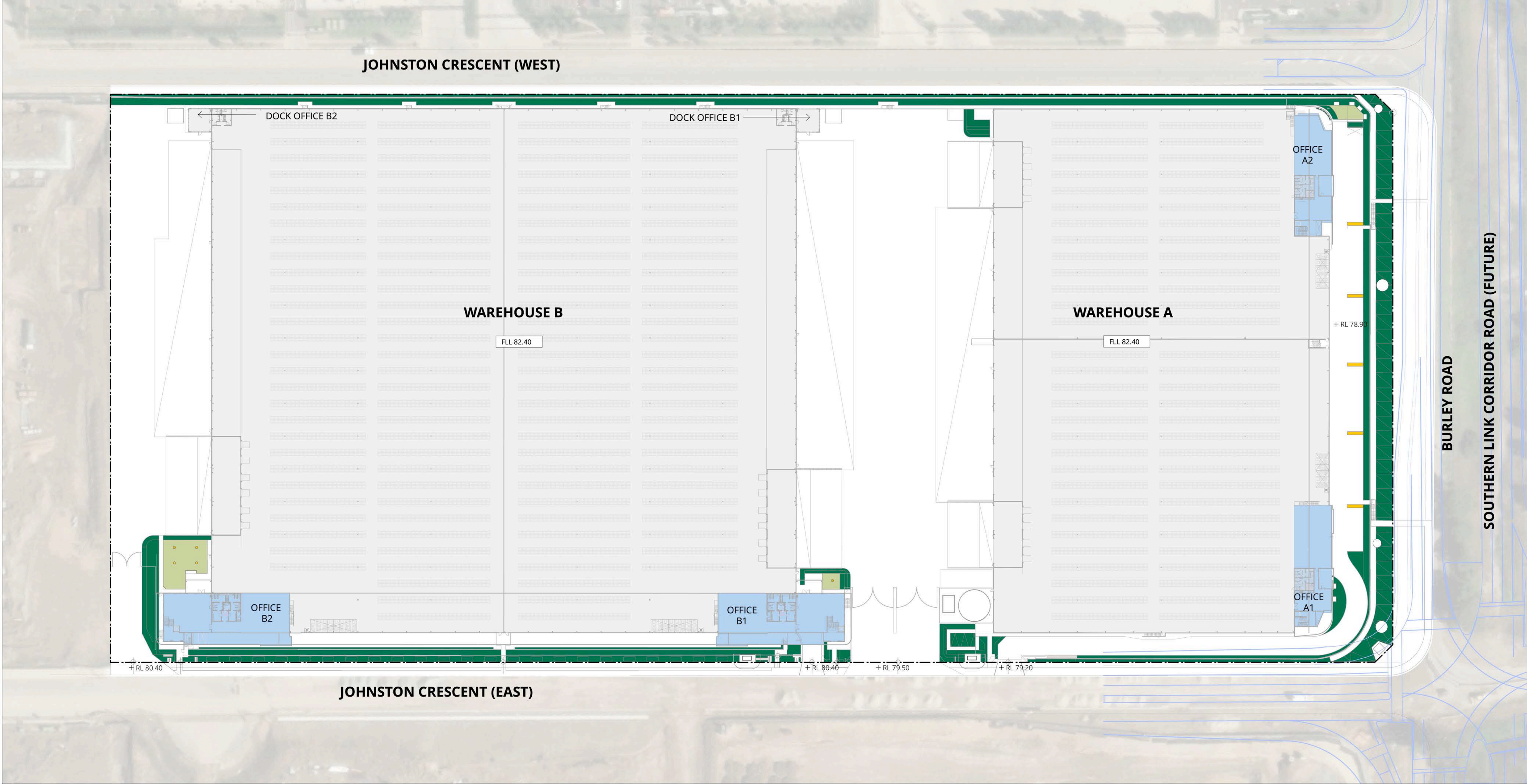


LANDSCAPE ARCHITECTURE

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**Legend**

- Lot Boundary
- Southern Link Corridor (Future)

**IRRIGATION ZONE DIAGRAM**

- Building
- Office Areas
- Island - Drip line (with tree coil)
- Garden bed - Drip line
- Turf - Pop up sprinkler
- Hosecock - with keyed tap head (hydraulic shop drawings to be provided by contractor - to future detail)
- Subsurface conduits (for irrigation lines)
- Irrigation network (irrigation shop drawings to be provided by contractor - to future detail)

Irrigation Zone		
	Area m2	% of Lot
Lot Area	86,728m2	100%
Island Area	69m2	0.08%
Turf Area	638m2	0.7%
Garden Bed Area	12,096m2	13.9%

- NOTES
- Contractor to provide and coordinate controller location and connectionsto recycled water supply.
  - Contractor to provide shop drawings of irrigation systemfor review prior to construction.

DRAWING NUMBER

L.SK.05

PROJECT NUMBER

SD-251-24

DRAWING DATE

9/7/2024

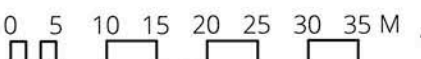
DRAWING NAME

Irrigation Zone Diagram

SCALE

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SCALE BAR



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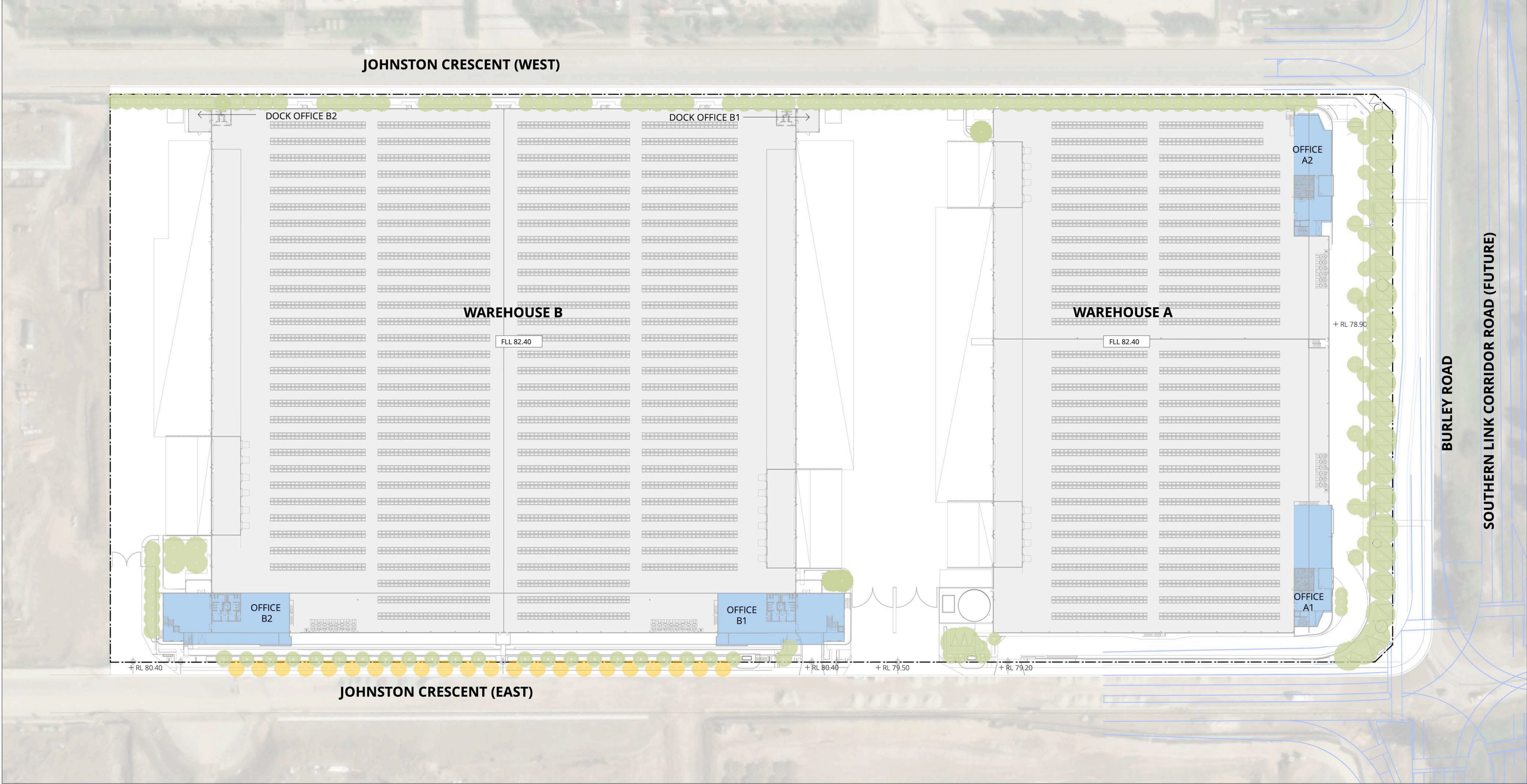


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Legend	
	Lot Boundary
	Southern Link Corridor (Future)
CANOPY COVERAGE ANALYSIS	
	Building
	Office Areas
	Proposed Canopy
	Proposed canopy upon council approval
CANOPY COVER	
Overall	Size
Site area (including buildings, hard stands and OSD)	86,728 sq m
Proposed mature canopy (On-Lot)	5,174 sq m
Percentage cover	
5.97%	

**Methodology**

1. Calculate the area (sq m) within the site boundary
2. Calculate the area of this site covered by the expected mature canopy.
3. Divide the mature canopy area by the site boundary area and convert to a percentage.

DRAWING NUMBER	
L.SK.06	
PROJECT NUMBER	DRAWING DATE
SD-251-24	9/7/2024

DRAWING NAME	
Canopy Coverage Analysis	
SCALE	SCALE BAR
1:750	
STATUS	NP
DRAFT	

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ESR Horsley Logistics Park Lot 3 Horsley Park NSW	
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ESR DEVELOPMENTS (AUST) PTY LTD	
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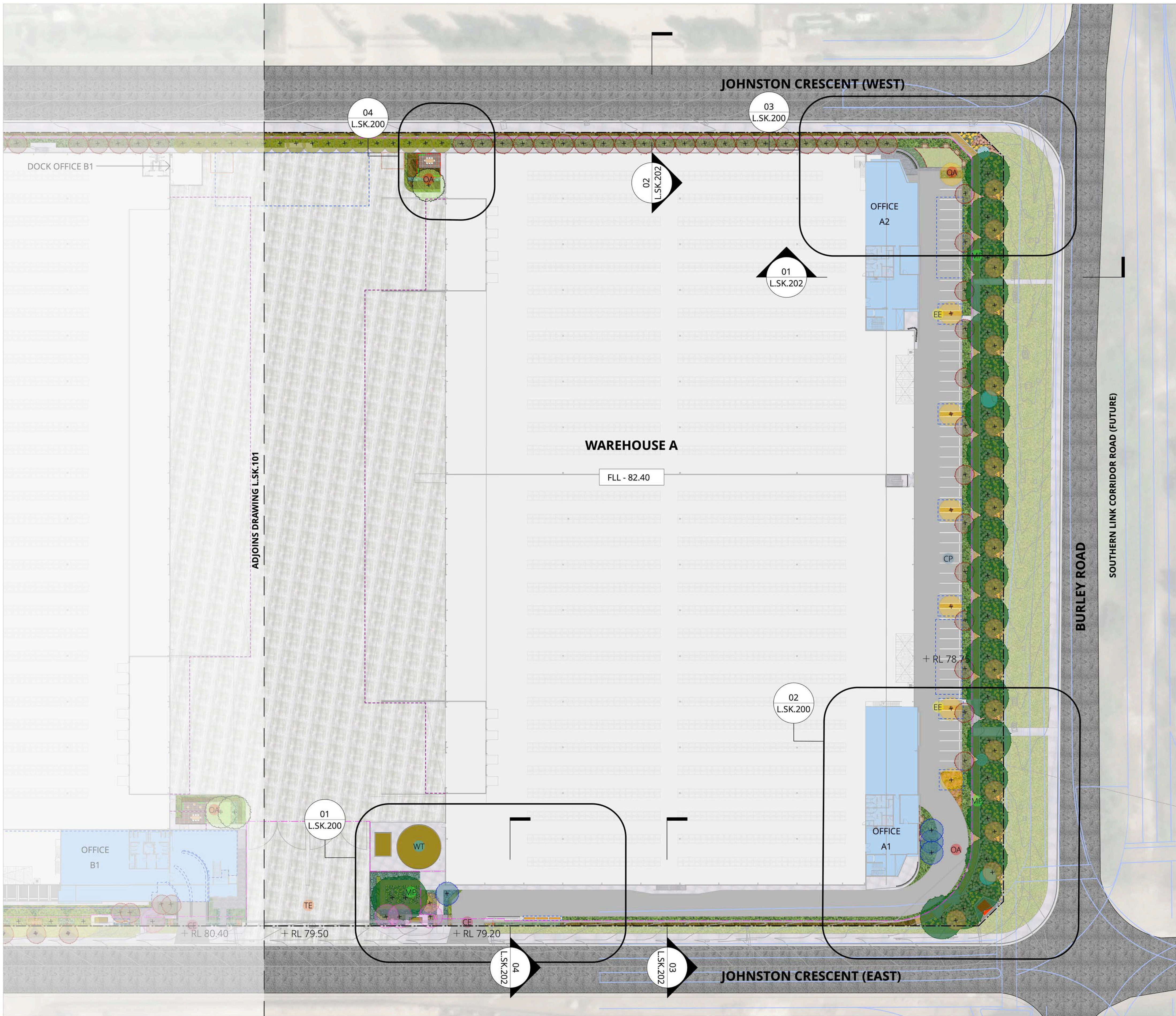
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Legend	
PROGRAMME	CE Car Entry/Exit
	CP Carparking
	TE Truck Entry/Exit
	BA Basin
	WT Water Tank
	OA Outdoor Amenity Area
	EE Emergency Egress
	MP Maintenance Path
BOUNDARIES	Lot boundary
	Structure below
	Structure above
GENERAL	Building
	Office
	Demolition
	Services
	Seperation Line
	Existing area refurbished
	Southern Link Corridor (Future)
LEVELS AND CONTOURS	+ RL 0.0 Reduced level
	Top of wall
	Bottom of wall
	Contour major
	Ramp
	Proposed stairs
DRAINAGE TYPE	Sewer
	Drainage type 01
	Subsoil drainage
	Refer CIVIL ENG.
WALLS & EDGES	Existing wall
	Weathering steel edge
	Proposed flush concrete kerb
	Proposed raised concrete kerb
RAILS AND FENCING	Trellis screen
	Waste Storage Area
	Fencing - general
	Maintenance Safety Rail
PAVEMENTS	Concrete - Pedestrian and SUP
	Concrete - Vehicular
	Existing concrete footpath
	Asphalt - driveway and parking
	Asphalt - existing road
	Decomposed Granite - Maintenance Path
	Permeable Paving
	Column concrete
	Timber facade
	Ballast Rock Mulch
FURNITURE AND FITTINGS	Proposed seating
	Table setting
	Tree Ring w/ mulch
	Shade Structure
	LED Uplight
	Entry Marker
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	PM14-Entry climber mix
	fraxinus urbanite shown at mature size
	Cupaniopsis anacardioides shown at mature size
	Lagerstroemia 'Natchez' shown at mature size
	Elaeocarpus eumundii shown at mature size

DRAWING NUMBER  
**L.SK.100**

DRAWING NAME  
**Concept Plan - Warehouse A**

PROJECT NUMBER  
**SD-251-24**

DRAWING DATE  
**9/7/2024**

SCALE  
**1:500**

SCALE BAR  
0 5 10 15 20 25 M

STATUS  
**DRAFT**

REVISION  
**G**

NP

PROJECT NAME AND ADDRESS  
**ESR Horsley Logistics Park**  
Lot 3 Horsley Park NSW

CLIENT NAME  
**ESR DEVELOPMENTS (AUST) PTY LTD**



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**AW**

CHECKED BY  
**CH**

CONSULTANTS  
**Architect**  
  
**nettleontribe**  
  
Nettleontribe  
(02) 9431 6431

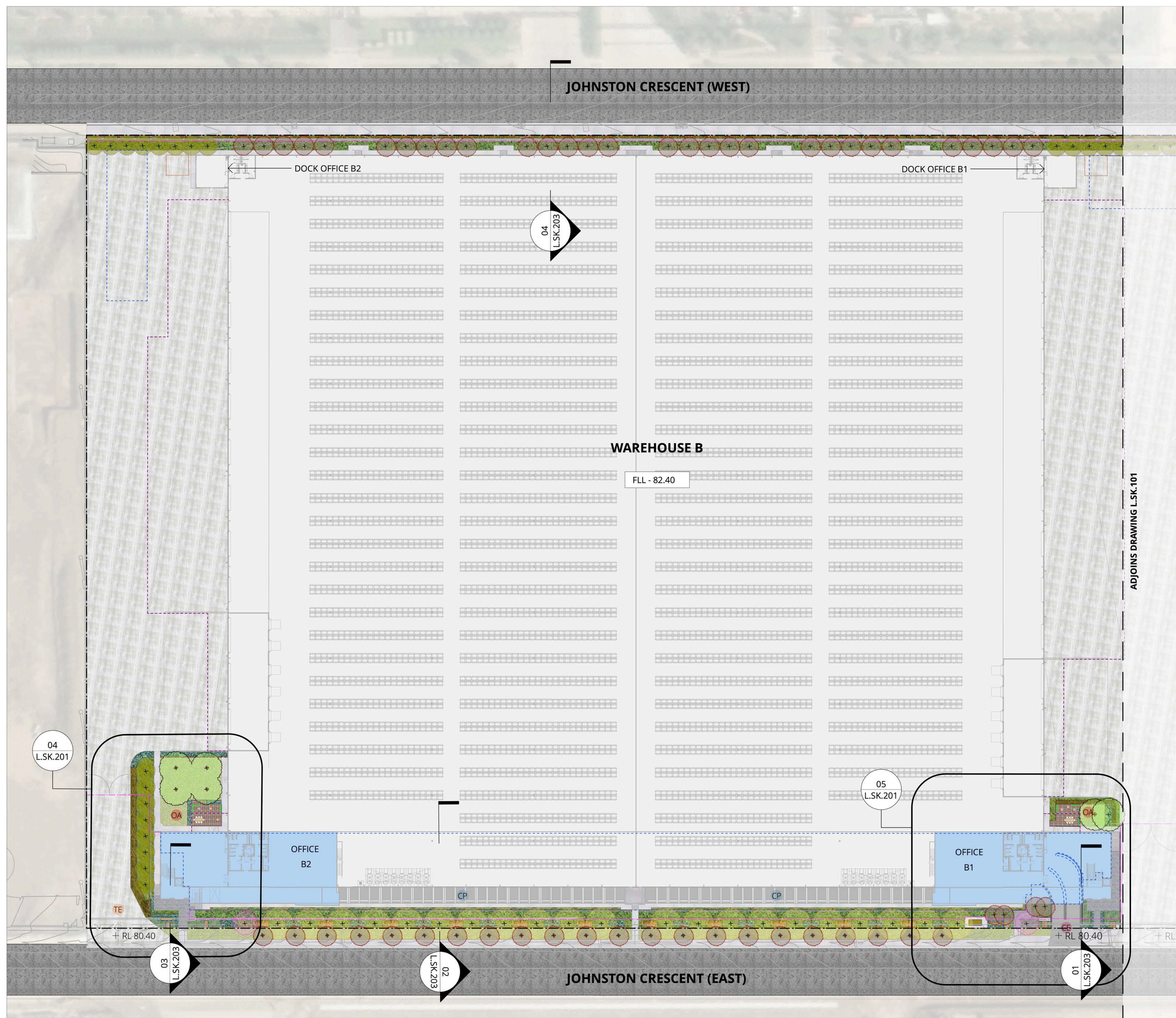
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DRAWINGS BY  
**scape**  
DESIGN

LANDSCAPE ARCHITECTURE  
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Manly NSW 2095  
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CE

Car Entry/Exit

CP

Carparking

TE

Truck Entry/Exit

BA

Basin

WT

Water Tank

OA

Outdoor Amenity Area

EE

Emergency Egress

MP

Maintenance Path

Lot boundary

Structure below

Structure above

Building

Office

Demolition

Services

Separation Line

Existing area refurbished

Southern Link Corridor (Future)

Reduced level

Top of wall

Bottom of wall

Contour major

Ramp

Proposed stairs

Sewer

Drainage type 01

Subsidi drainage

Refer CIVIL ENG.

Drainage type 03

Grated pit

Refer CIVIL ENG.

Existing wall

Weathering steel edge

Proposed flush concrete kerb

Proposed raised concrete kerb

Proposed Retaining Wall

Trellis screen

Waste Storage Area

Fencing - general

Maintenance Safety Rail

Concrete - Pedestrian and SUP

Concrete - Vehicular

Existing concrete footpath

Asphalt - driveway and parking

Asphalt - existing road

Decomposed Granite - Maintenance Path

Permeable Paving

Column concrete

Timber facade

Ballast Rock Mulch

Proposed seating

Table setting

Tree Ring w/ mulch

Shade Structure

LED Uplight

Entry Marker

Estate Signage

Sandstone Seating

Small Tables

TF1-General Turf

PM1A-Car park edge mix-sun

PM1B-Native groundcover mix

PM6A-Feature shrub mix-sun

PM6B-Hedge mix-sun

PM7A-Groundcover mix A

PM7B-Groundcover mix B

PM12-Native Groundcover mix

PM13-Native grass mix

PM14-Entry climber mix

fraxinus urbanite  
shown at mature size

Cupaniopsis anacardioides  
shown at mature size

Lagerstroemia 'Natchez'  
shown at mature size

Eleocharis eumundii  
shown at mature size

Tristramia laurina  
shown at mature size

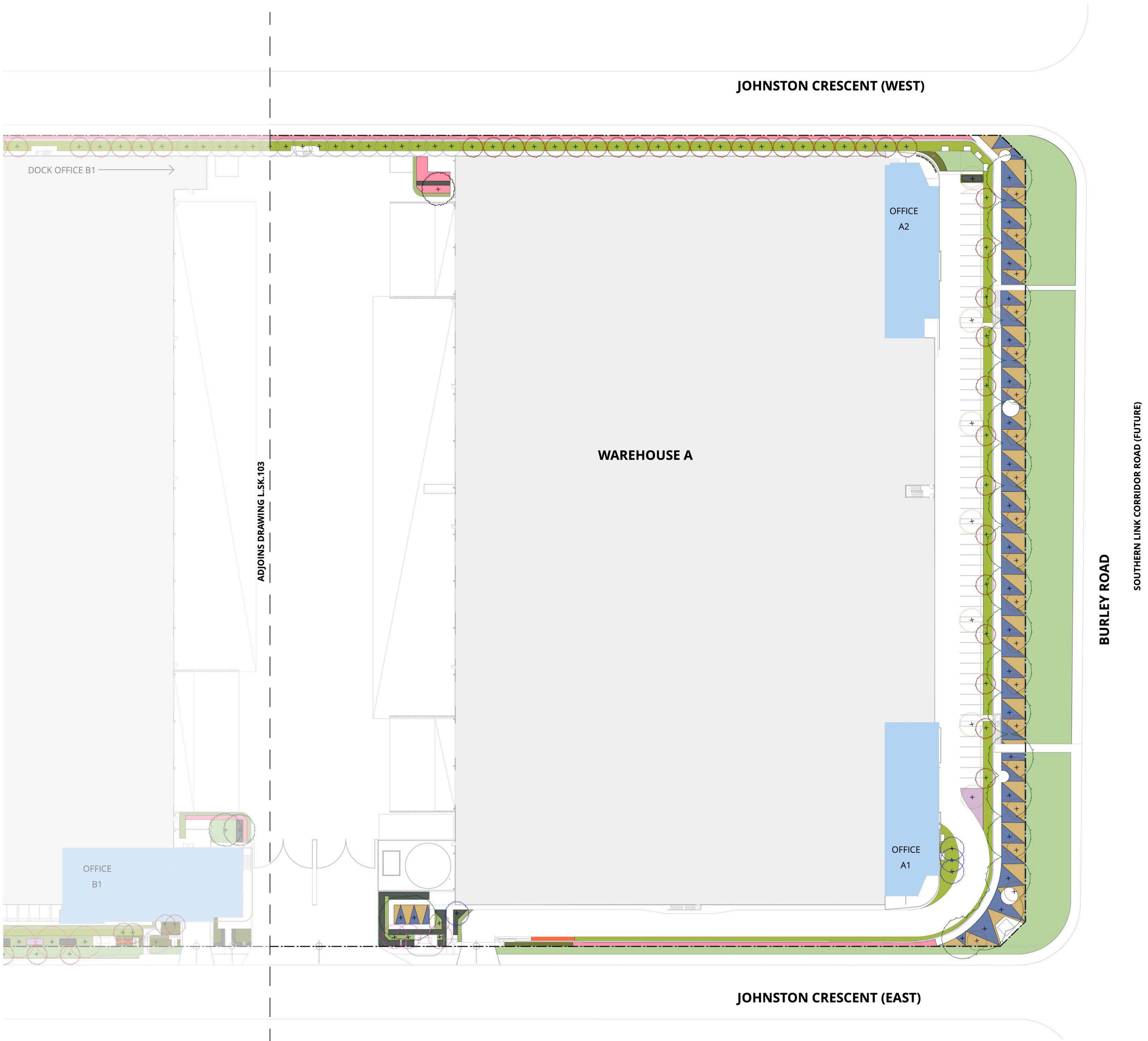
Eucalyptus terebinthifolia  
shown at mature size

Magnolia grandiflora 'Emouth'  
shown at mature size

Maleuca liniflora  
shown at mature size

Pyrus calleryana 'Capital'  
shown at mature size



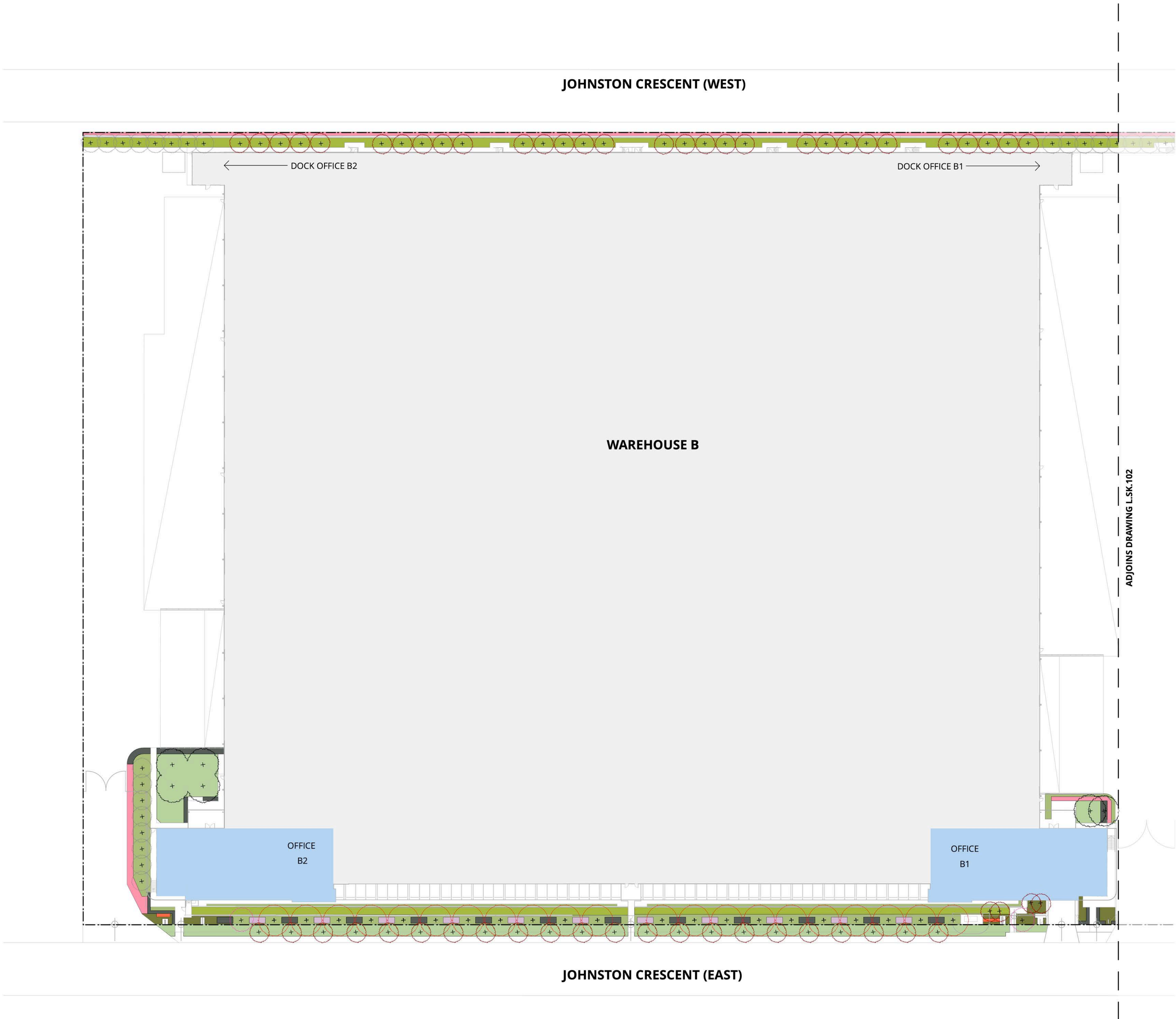


- Legend
- BOUNDARIES
- Lot boundary
  - Building
  - Office
- PLANTING
- TF1-General Turf
  - PM1A-Car park edge mix-sun
  - PM1B-Site edge mix - shade
  - PM6A-Feature shrub mix-sun
  - PM6B-Hedge mix-sun
  - PM7A-Groundcover mix A
  - PM7B-Groundcover mix B
  - PM12-Native groundcover mix
  - PM13-Native planting mix
  - PM14B-Climbers Entry Marker
  - fraxinus urbanite shown at mature size
  - Cupaniopsis anacardioides shown at mature size
  - Lagerstroemia 'Natchez' shown at mature size
  - Elaeocarpus eumundii shown at mature size
  - Tristania lachrymans shown at mature size
  - Eucalyptus tereticornis shown at mature size
  - Magnolia grandiflora 'Emmott' shown at mature size
  - Melaleuca linariifolia shown at mature size
  - Pyrus calleryana 'Capital' shown at mature size

DRAWING NUMBER		DRAWING NAME		REVISION		PROJECT NAME AND ADDRESS		CONSULTANTS		DRAWINGS BY	
L.S.K.102		Planting Plan - Warehouse A		G		ESR Horsley Logistics Park Lot 3 Horsley Park NSW		Architect		scape DESIGN	
PROJECT NUMBER		DRAWING DATE		SCALE		CLIENT NAME		nettleontribe		LANDSCAPE ARCHITECTURE	
SD-251-24		9/7/2024		1:500		ESR DEVELOPMENTS (AUST) PTY LTD		Nettleontribe (02) 9431 6431		Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au	
SCALE BAR		STATUS		NP		DRAWN BY		Do not scale from this drawing.		Reproduction of this document requires the written consent of Scape Design Pty. Ltd.	
0 5 10 15 20 25 M		DRAFT		G		CHECKED BY		Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services.		Verify services locations prior to commencement. Verify all dimensions on site prior to construction.	
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						CH					

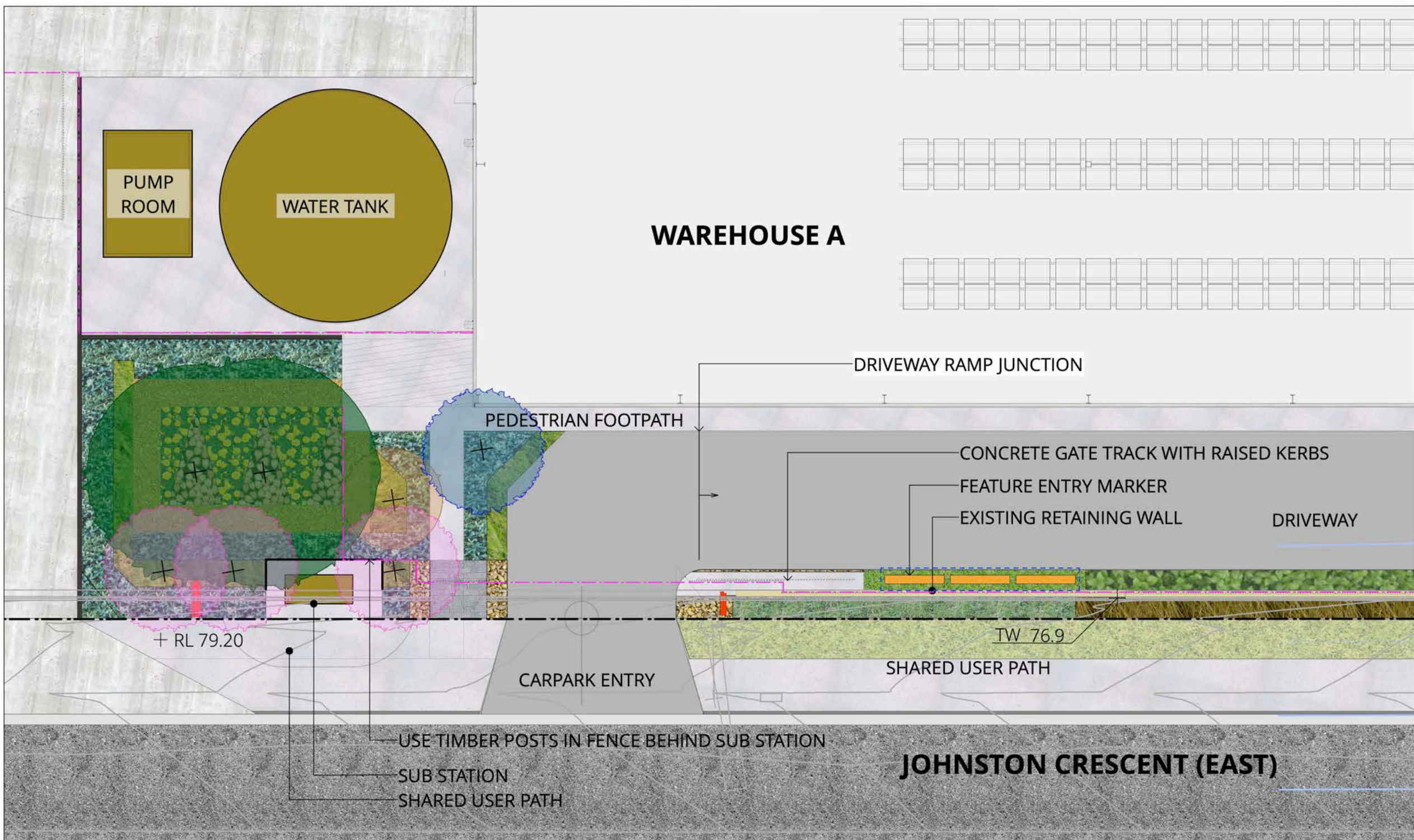
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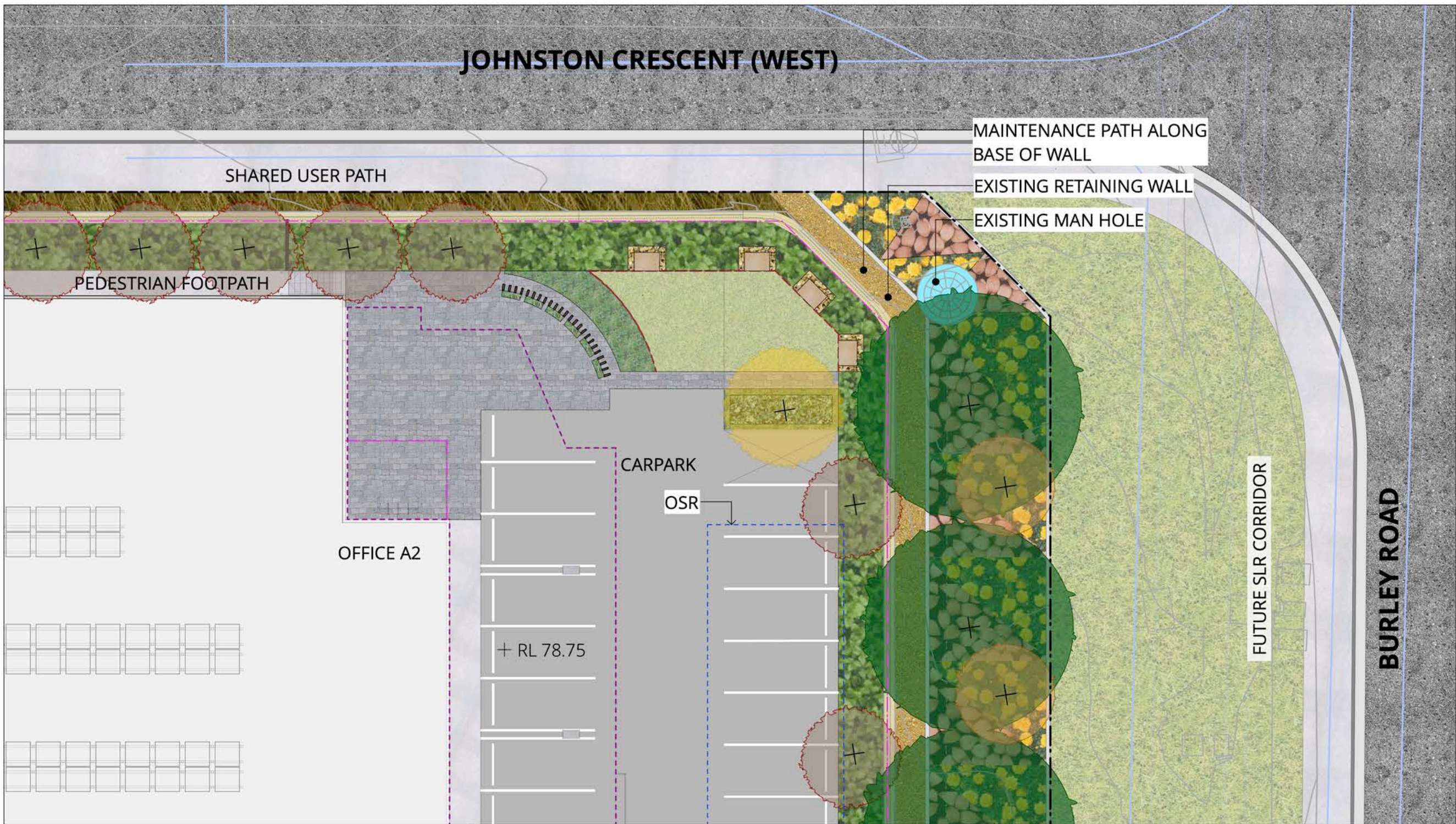


- Legend**
- BOUNDARIES**
- Lot boundary
  - Building
  - Office
- PLANTING**
- TF1-General Turf
  - PM1A-Car park edge mix-sun
  - PM1B-Site edge mix - shade
  - PM6A-Feature shrub mix-sun
  - PM6B-Hedge mix-sun
  - PM7A-Groundcover mix A
  - PM7B-Groundcover mix B
  - PM12-Native groundcover mix
  - PM13-Native planting mix
  - PM14B-Climbers Entry Marker
  - fraxinus urbanite shown at mature size
  - Cupaniopsis anacardioides shown at mature size
  - Lagerstroemia 'Natchez' shown at mature size
  - Elaeocarpus eumundii shown at mature size
  - Tristaniaopsis laurina shown at mature size
  - Eucalyptus tereticornis shown at mature size
  - Magnolia grandiflora 'Exmouth' shown at mature size
  - Melaleuca linariifolia shown at mature size
  - Pyrus calleryana 'Capital' shown at mature size





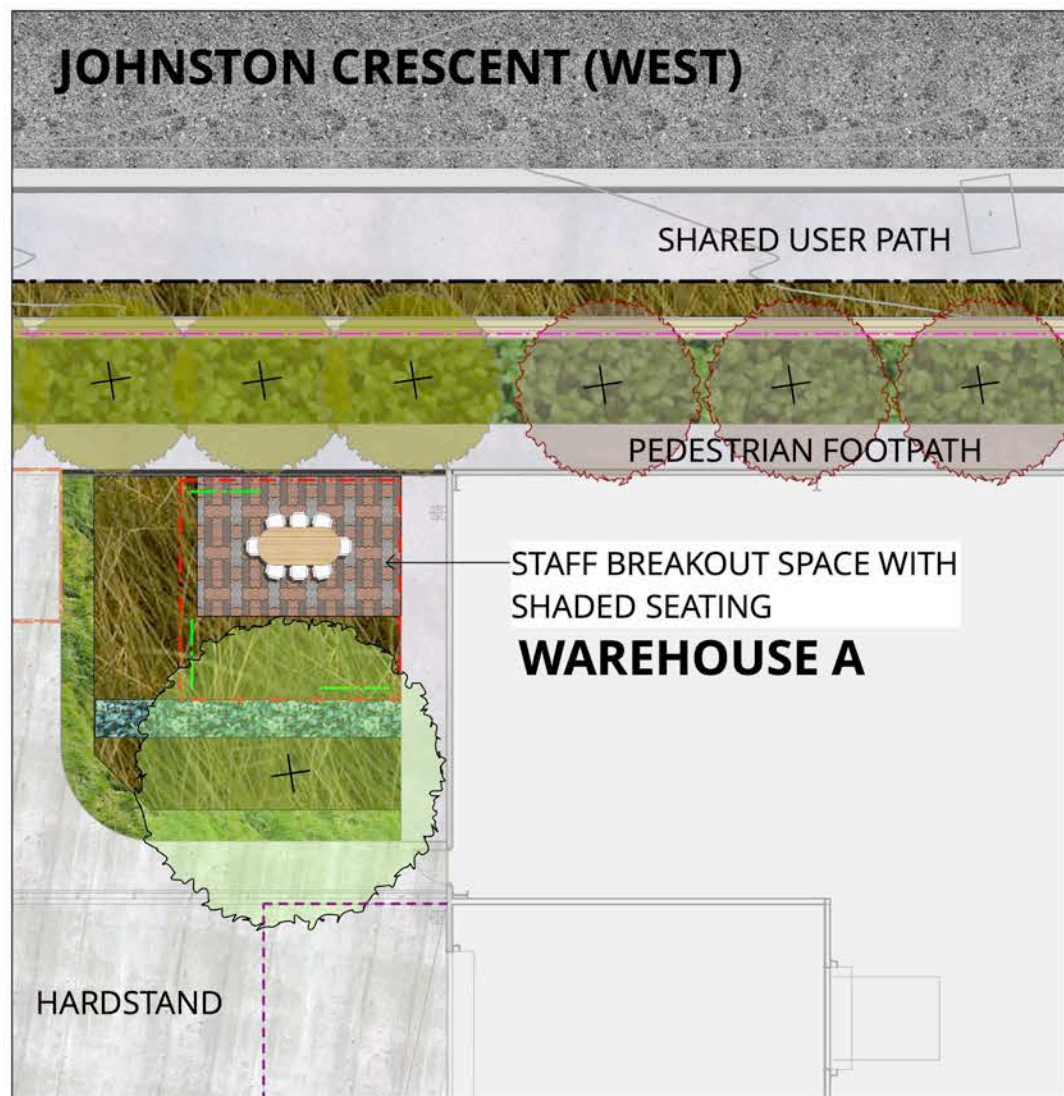
01 WAREHOUSE A - SITE ENTRY  
DETAIL PLAN - SCALE: 1:200@A1



02 WAREHOUSE A - OFFICE A2 ENVIRONS  
DETAIL PLAN - SCALE: 1:200@A1



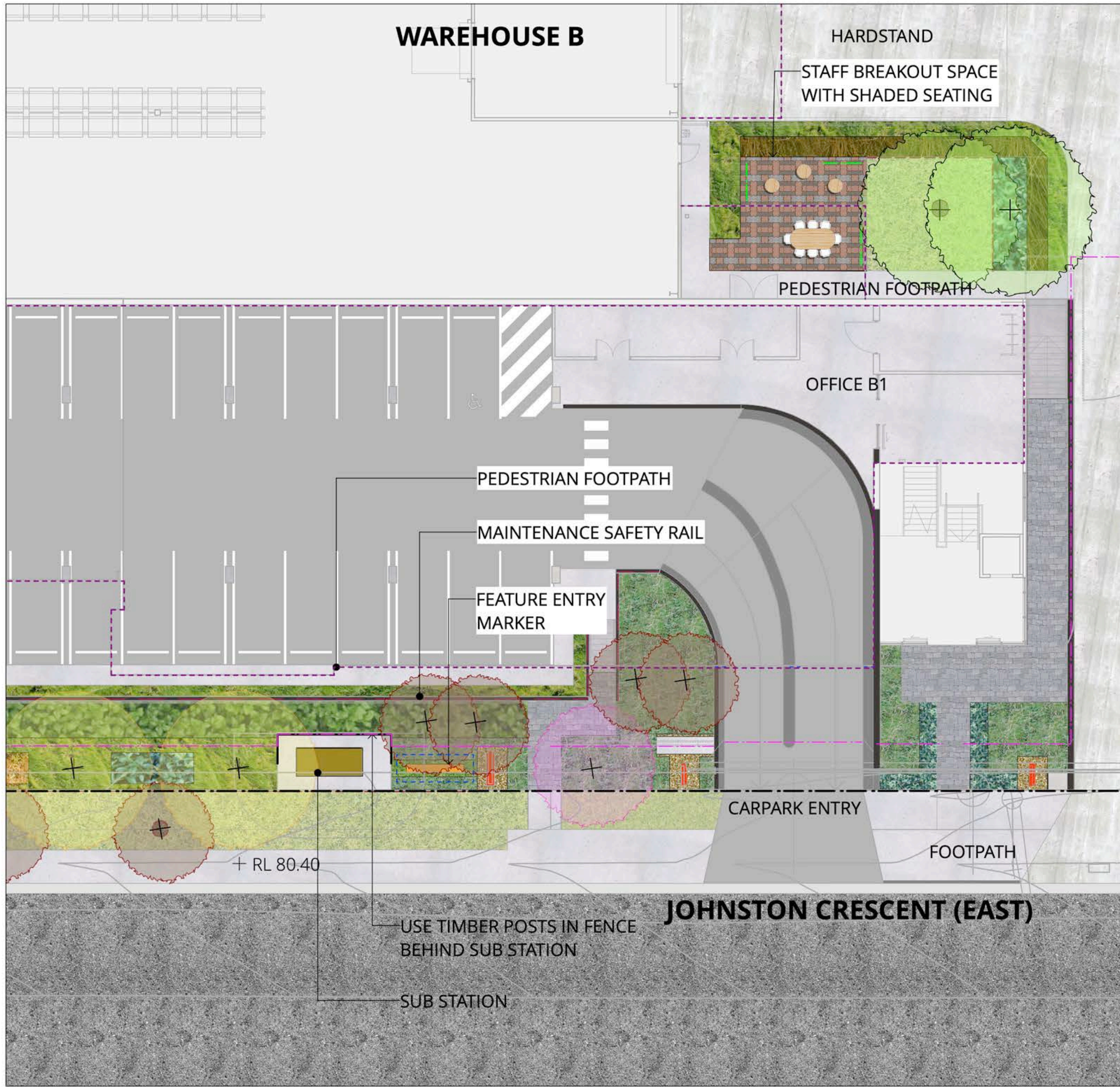
03 WAREHOUSE A LOWER GROUND FLOOR  
DETAIL PLAN - SCALE: 1:200@A1



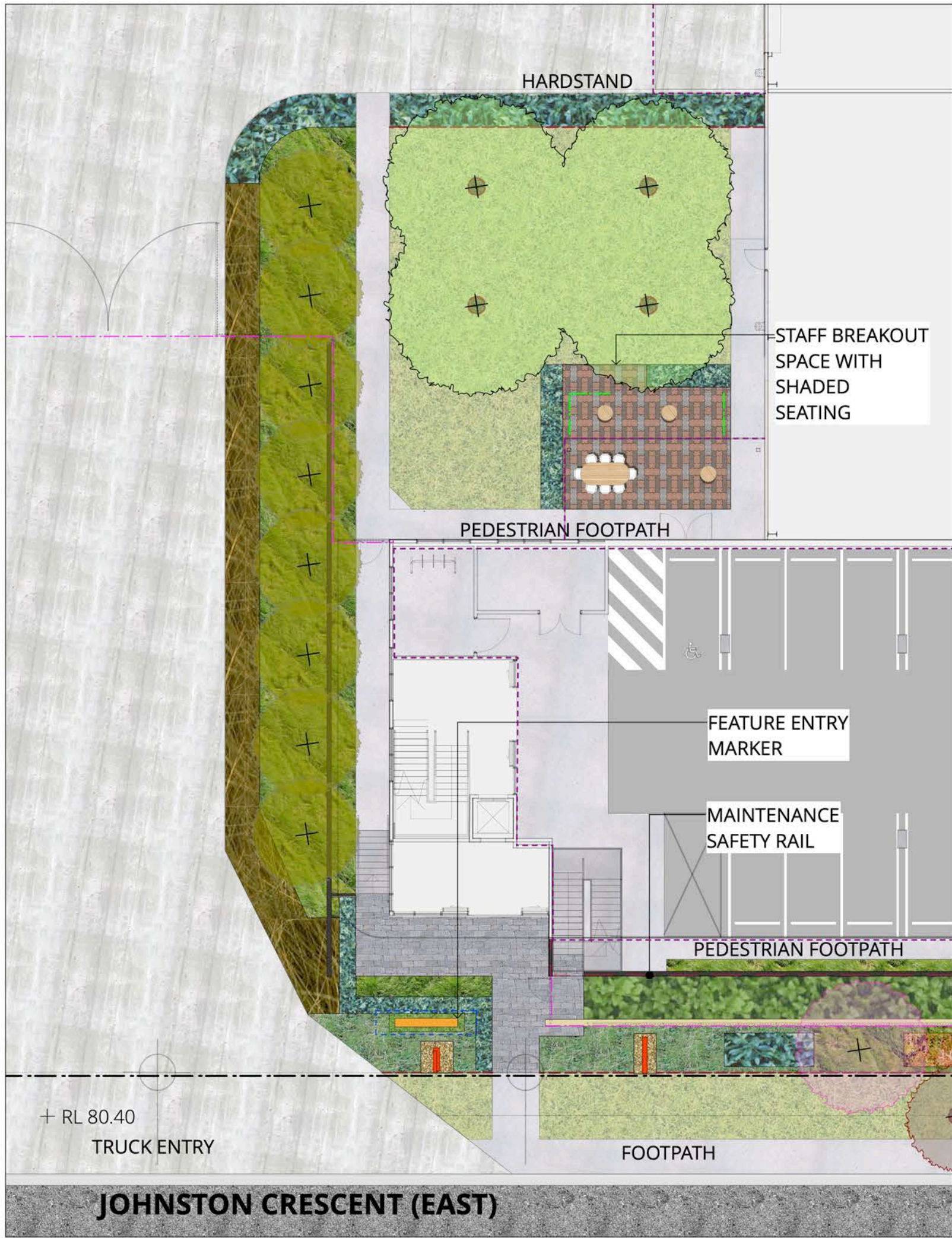
04 WAREHOUSE A - BREAKOUT SPACE  
DETAIL PLAN - SCALE: 1:200@A1

Legend	
<b>PROGRAMME</b>	<b>PAVEMENTS</b>
CE Car Entry/Exit	Concrete - Pedestrian and SUP
CP Carparking	Concrete - Vehicular
TE Truck Entry/Exit	Existing concrete footpath
BA Basin	Asphalt - driveway and parking
WT Water Tank	Asphalt - existing road
OA Outdoor Amenity Area	Decomposed Granite - Maintenance Path
EE Emergency Egress	Permeable Paving
MP Maintenance Path	Special Entry Paving
<b>BOUNDARIES</b>	Column concrete
Lot Boundary	Timber facade
Structure Below	Ballast Rock Mulch
Structure Above	
<b>GENERAL</b>	<b>FURNITURE AND FITTINGS</b>
Building	Proposed seating
Office	Table setting
Demolition	Tree Ring w/ mulch
Services	Shade Structure
Existing Area Refurbished	LED Uplight
Southern Link Corridor (Future)	Entry Marker
<b>LEVELS AND CONTOURS</b>	Estate Signage
+ RL 0.0 Reduced level	Sandstone Seating
Top of wall	Small Table
Bottom of wall	
Contour major	
Ramp	<b>PLANTING</b>
Proposed stairs	TF1-General Turf
<b>DRAINAGE TYPE</b>	PM1A-Car park edge mix-sun
Sewer	PM1B-Native groundcover mix
Drainage type 01	PM6A-Feature shrub mix-sun
Subsoil drainage	PM6B-Hedge mix-sun
Refer CIVIL ENG.	PM7A-Groundcover mix A
Drainage type 03	PM7B-Groundcover mix B
Grated pit	PM12-Native Groundcover mix
Refer CIVIL ENG.	PM13-Native grass mix
<b>WALLS &amp; EDGES</b>	PM14-Entry climber mix
Existing wall	<b>TREES</b>
Weathering steel edge	fraxinus urbanite shown at mature size
Proposed flush concrete kerb	Cupaniopsis anacardioides shown at mature size
Proposed raised concrete kerb	Lagerstroemia 'Natchez' shown at mature size
Proposed Retaining Wall	Elaeocarpus eumundii shown at mature size
<b>RAILS AND FENCING</b>	Tristaniopsis laurina shown at mature size
Trellis screen	Eucalyptus tereticornis shown at mature size
Waste Storage Area	Magnolia grandiflora 'Emouth' shown at mature size
Fencing - general	Melaieuca linariifolia shown at mature size
Maintenance Safety Rail	Pyrus calleryana 'Capital' shown at mature size





04 WAREHOUSE B - OFFICE B1 ENTRY  
DETAIL PLAN - SCALE: 1:200@A1



05 WAREHOUSE B - OFFICE B2 ENTRY  
DETAIL PLAN - SCALE: 1:200@A1

Legend	
PROGRAMME	PAVEMENTS
<span>CE</span> Car Entry/Exit	<span>Concrete - Pedestrian and SUP</span>
<span>CP</span> Carparking	<span>Concrete - Vehicular</span>
<span>TE</span> Truck Entry/Exit	<span>Existing concrete footpath</span>
<span>BA</span> Basin	<span>Asphalt - driveway and parking</span>
<span>WT</span> Water Tank	<span>Asphalt - existing road</span>
<span>OA</span> Outdoor Amenity Area	<span>Decomposed Granite - Maintenance Path</span>
<span>EE</span> Emergency Egress	<span>Permeable Paving</span>
<span>MP</span> Maintenance Path	<span>Special Entry Paving</span>
BOUNDARIES	FURNITURE AND FITTINGS
<span>Lot Boundary</span>	<span>Proposed seating</span>
<span>Structure Below</span>	<span>Table setting</span>
<span>Structure Above</span>	<span>Tree Ring w/ mulch</span>
GENERAL	<span>Shade Structure</span>
<span>Building</span>	<span>LED Uplight</span>
<span>Office</span>	<span>Entry Marker</span>
<span>Demolition</span>	<span>Estate Signage</span>
<span>Services</span>	<span>Sandstone Seating</span>
<span>Existing Area Refurbished</span>	<span>Small Table</span>
<span>Southern Link Corridor (Future)</span>	
LEVELS AND CONTOURS	PLANTING
<span>+ RL 0.0</span> Reduced level	<span>TF1-General Turf</span>
<span>Top of wall</span>	<span>PM1A-Car park edge mix-sun</span>
<span>Bottom of wall</span>	<span>PM1B-Native groundcover mix</span>
<span>Contour major</span>	<span>PM6A-Feature shrub mix-sun</span>
<span>Ramp</span>	<span>PM6B-Hedge mix-sun</span>
<span>Proposed stairs</span>	<span>PM7A-Groundcover mix A</span>
DRAINAGE TYPE	<span>PM7B-Groundcover mix B</span>
<span>Sewer</span>	<span>PM12-Native Groundcover mix</span>
<span>Drainage type 01</span>	<span>PM13-Native grass mix</span>
<span>Subsoil drainage</span>	<span>PM14-Entry climber mix</span>
<span>Refer CIVIL ENG.</span>	
<span>Drainage type 03</span>	
<span>Grated pit</span>	
<span>Refer CIVIL ENG.</span>	
WALLS & EDGES	TREES
<span>Existing wall</span>	<span>fraxinus urbanite shown at mature size</span>
<span>Weathering steel edge</span>	<span>Cupaniopsis anacardioides shown at mature size</span>
<span>Proposed flush concrete kerb</span>	<span>Lagerstroemia 'Natchez' shown at mature size</span>
<span>Proposed raised concrete kerb</span>	<span>Elaeocarpus eumundii shown at mature size</span>
<span>Proposed Retaining Wall</span>	<span>Tristaniopsis laurina shown at mature size</span>
RAILS AND FENCING	<span>Eucalyptus tereticornis shown at mature size</span>
<span>Trellis screen</span>	<span>Magnolia grandiflora 'Emouth' shown at mature size</span>
<span>Waste Storage Area</span>	<span>Melaleuca linariifolia shown at mature size</span>
<span>Fencing - general</span>	<span>Pyrus calleryana 'Capital' shown at mature size</span>
<span>Maintenance Safety Rail</span>	

DRAWING NUMBER

L.SK.201

PROJECT NUMBER

SD-251-24

DRAWING DATE

9/7/2024

DRAWING NAME

Detail Plan - Warehouse B

SCALE

1:200

SCALE BAR

0 2 4 6 8 10 M

STATUS

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REVISION

G

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PROJECT NAME AND ADDRESS

ESR Horsley Logistics Park  
Lot 3 Horsley Park NSW

CLIENT NAME

ESR DEVELOPMENTS (AUST) PTY LTD



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LANDSCAPE ARCHITECTURE

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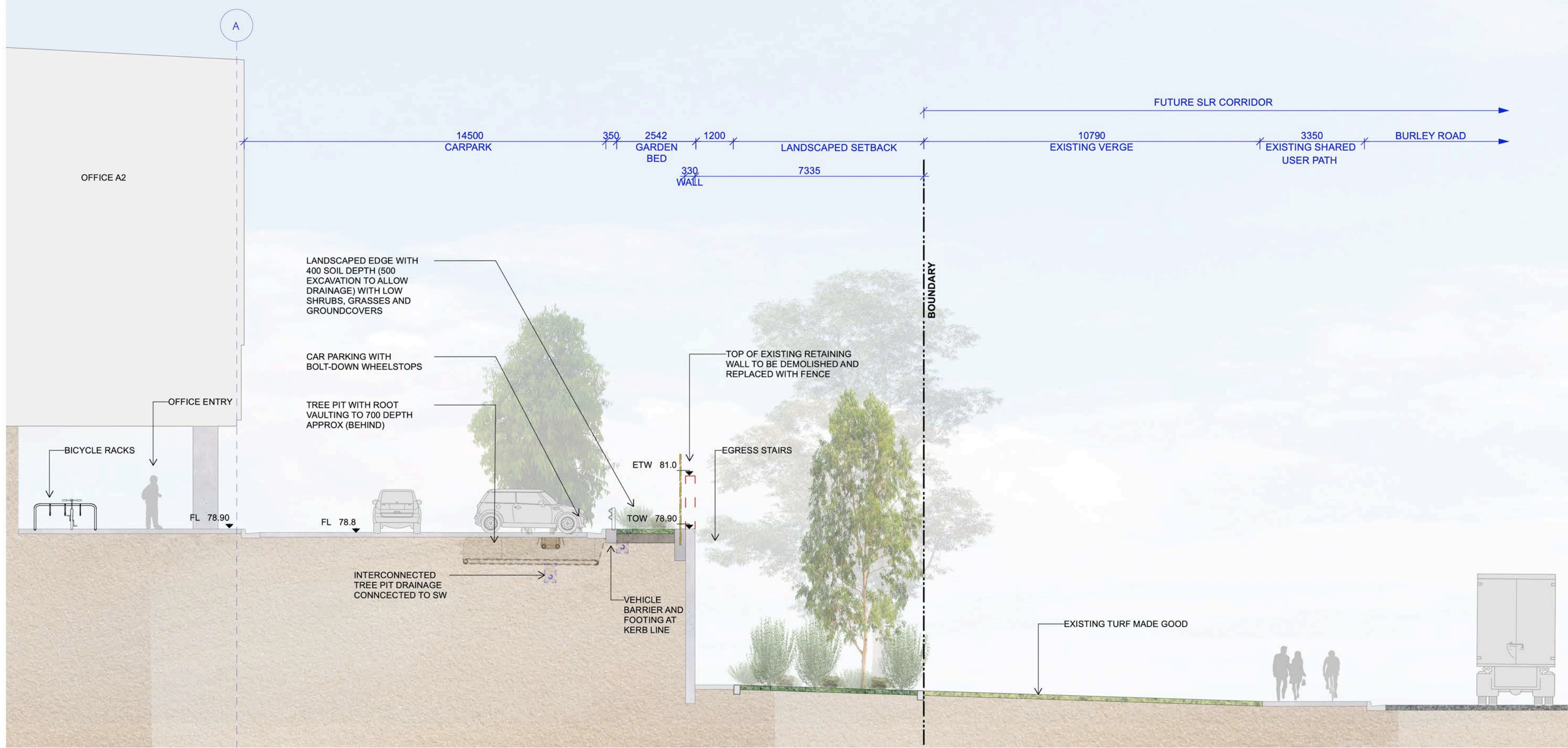
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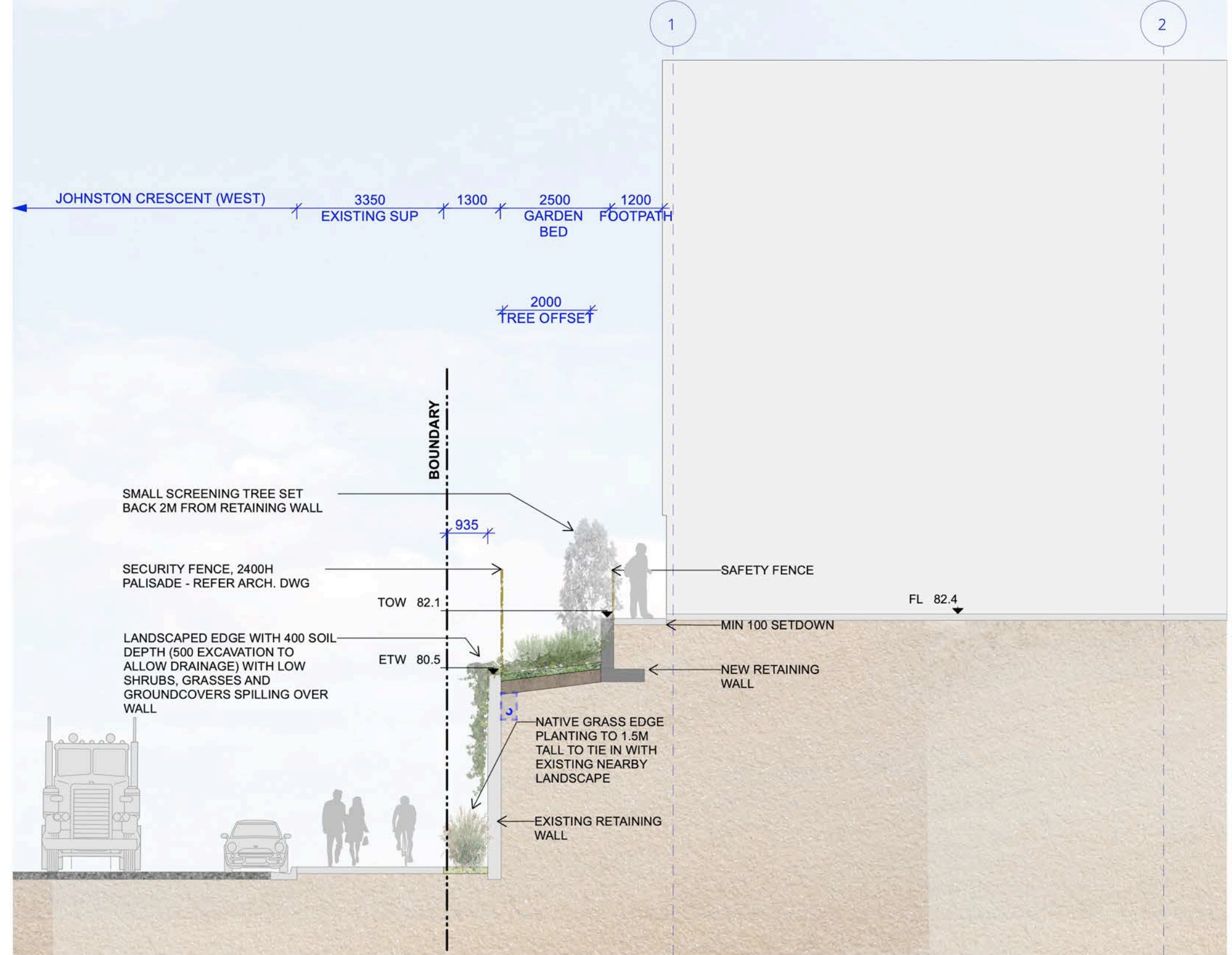
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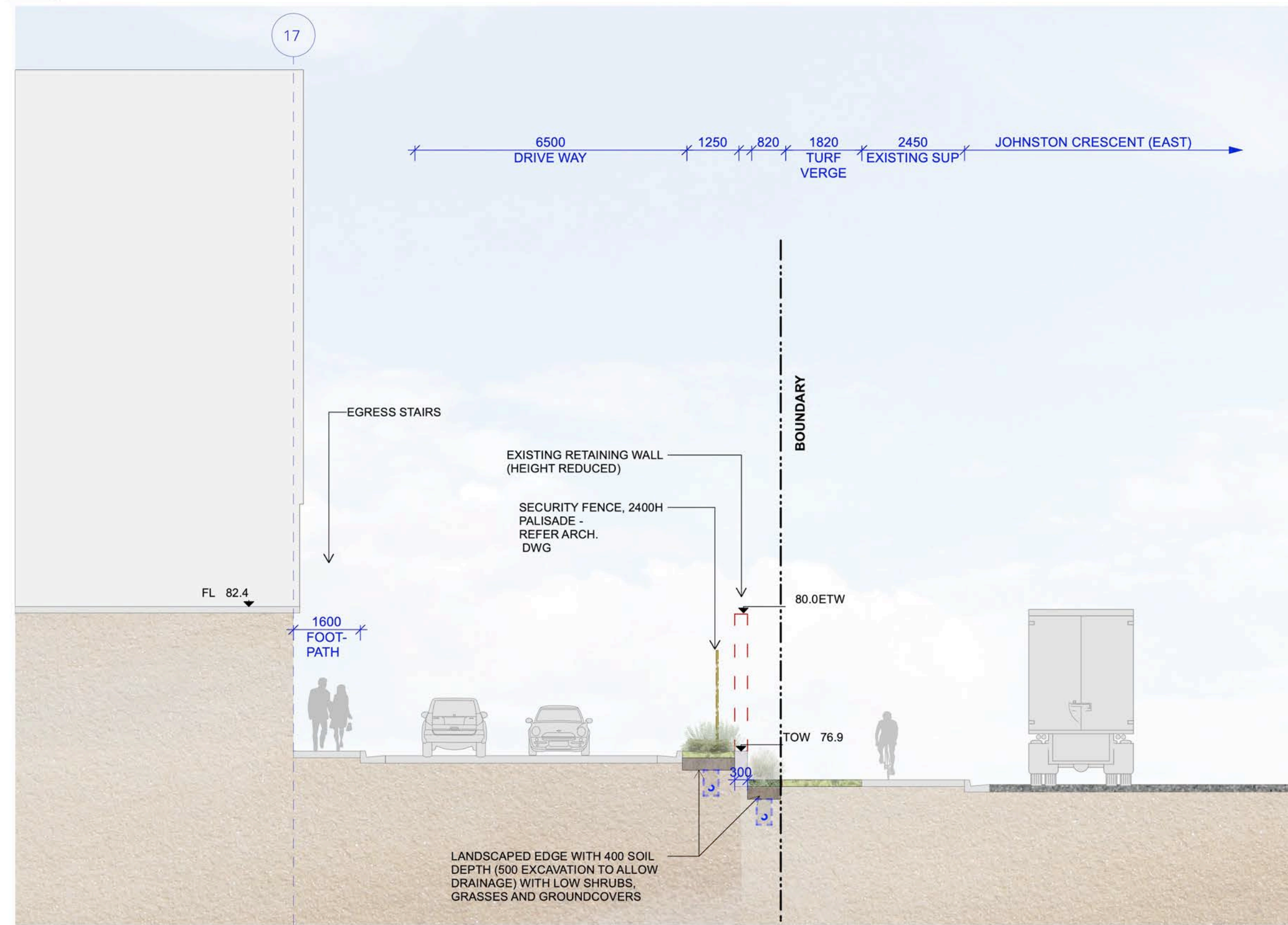




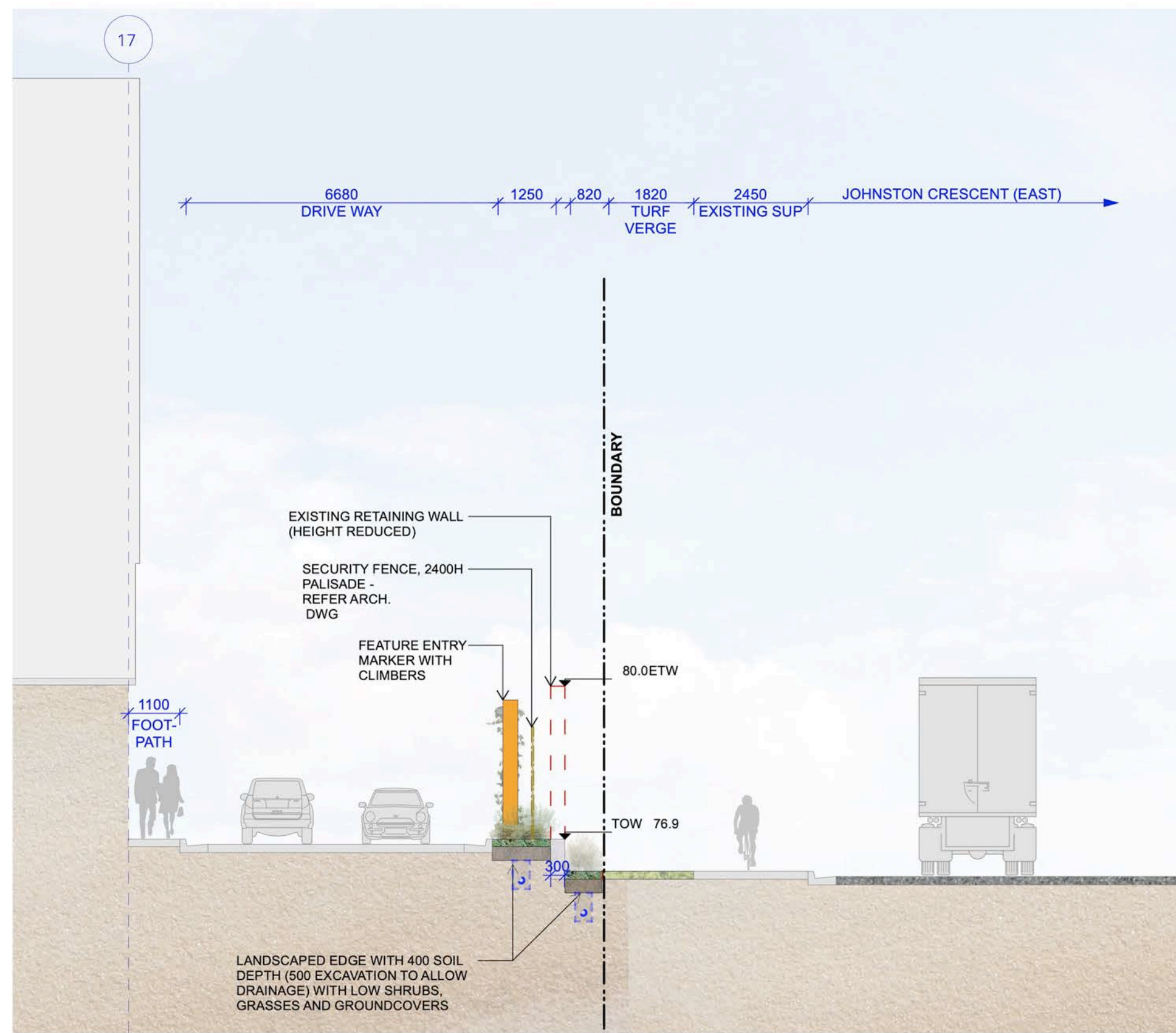
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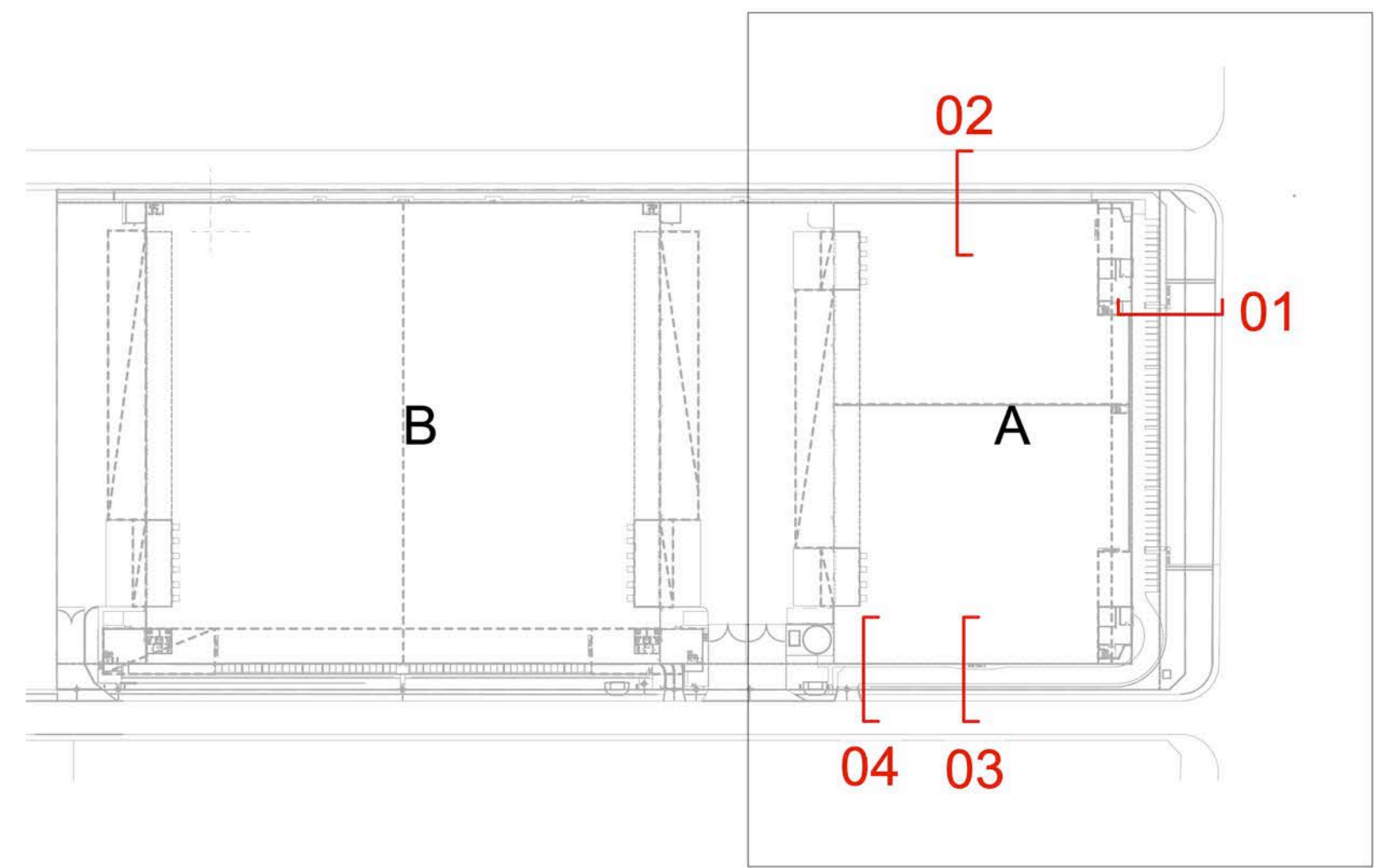
02 WAREHOUSE A  
SECTION - SCALE: 1:100@A1



03 WAREHOUSE A  
SECTION - SCALE: 1:100@A1



04 WAREHOUSE A  
SECTION - SCALE: 1:100@A1



KEY PLAN

DRAWING NUMBER

**L.SK.202**

PROJECT NUMBER

SD-251-24

DRAWING DATE

9/7/2024

DRAWING NAME

**Sections - Warehouse A**

SCALE

1:100

SCALE BAR

0 1 2 3 4 5 M

STATUS

**DRAFT**

REVISION

**G**

NP

**G**

PROJECT NAME AND ADDRESS

**ESR Horsley Logistics Park**  
Lot 3 Horsley Park NSW

CLIENT NAME

**ESR DEVELOPMENTS (AUST) PTY LTD**

**ESR**

DRAWN BY

**WP**

CHECKED BY

**CH**

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**nettleontribe**

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(02) 9431 6431

**Structural Engineer**

**CRG**  
COSTIN ROSE CONSULTING

8 Windmill Street  
Point Sydney NSW 2000  
(02) 9251 7699

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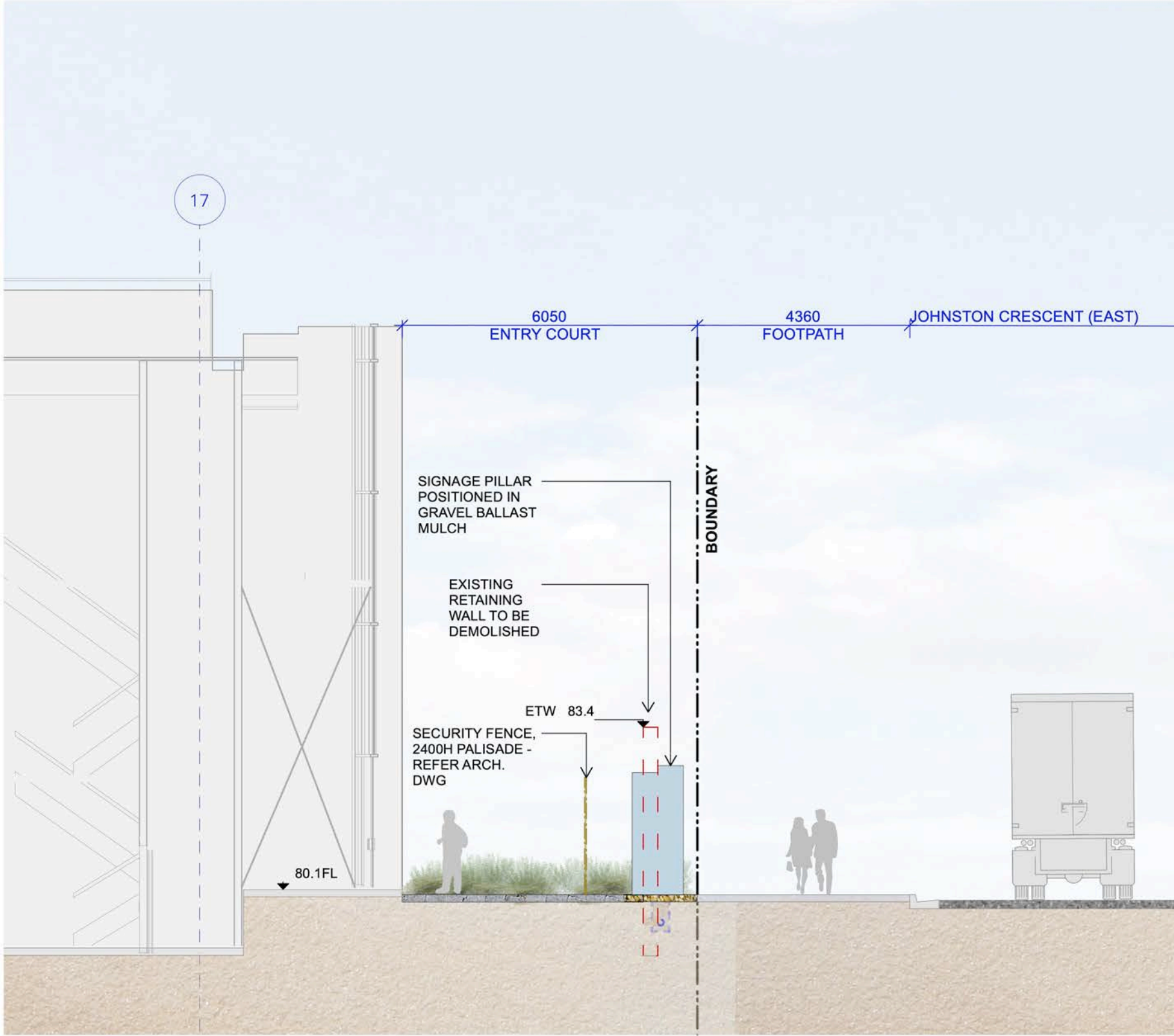
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DESIGN

LANDSCAPE ARCHITECTURE

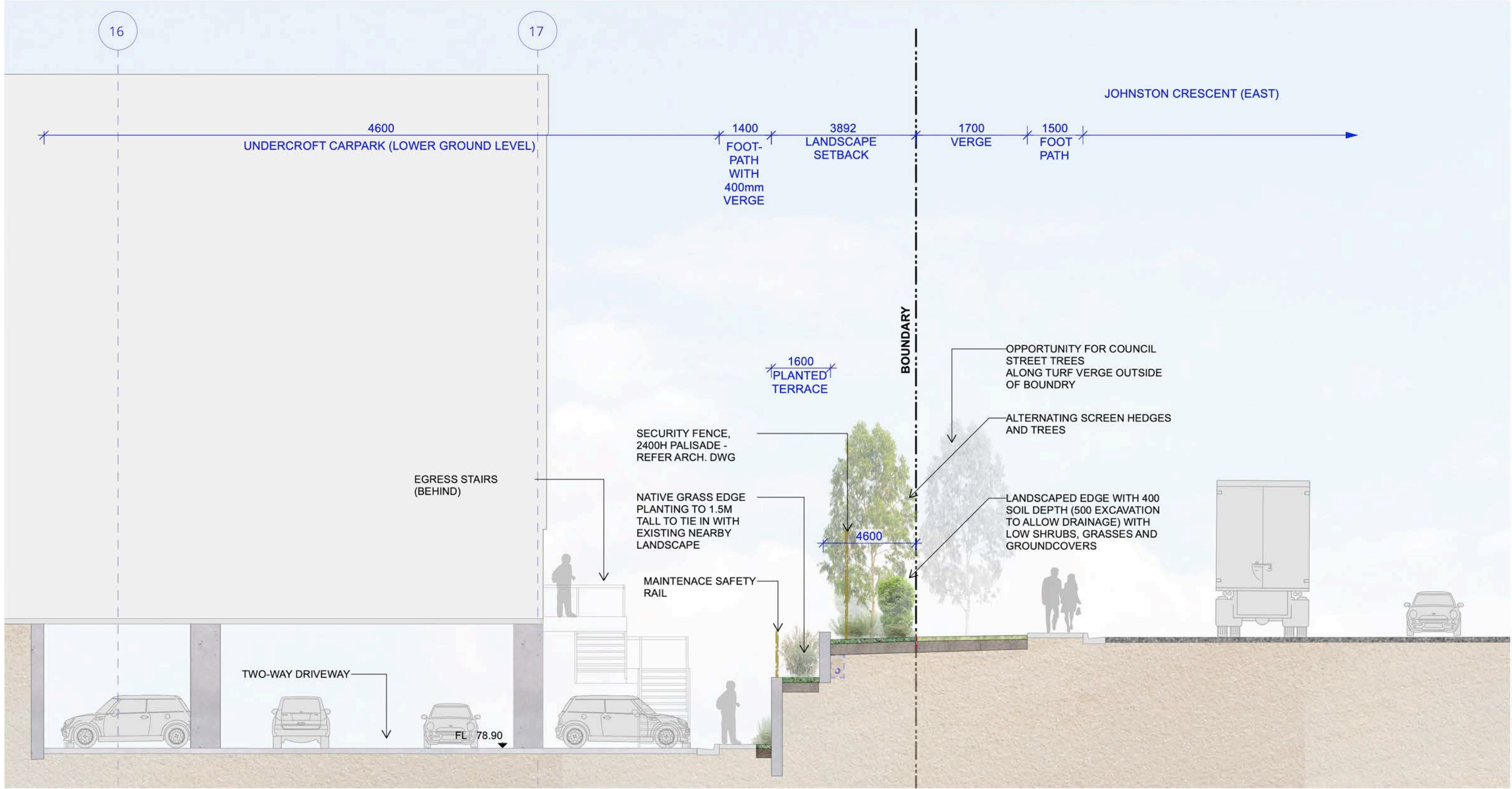
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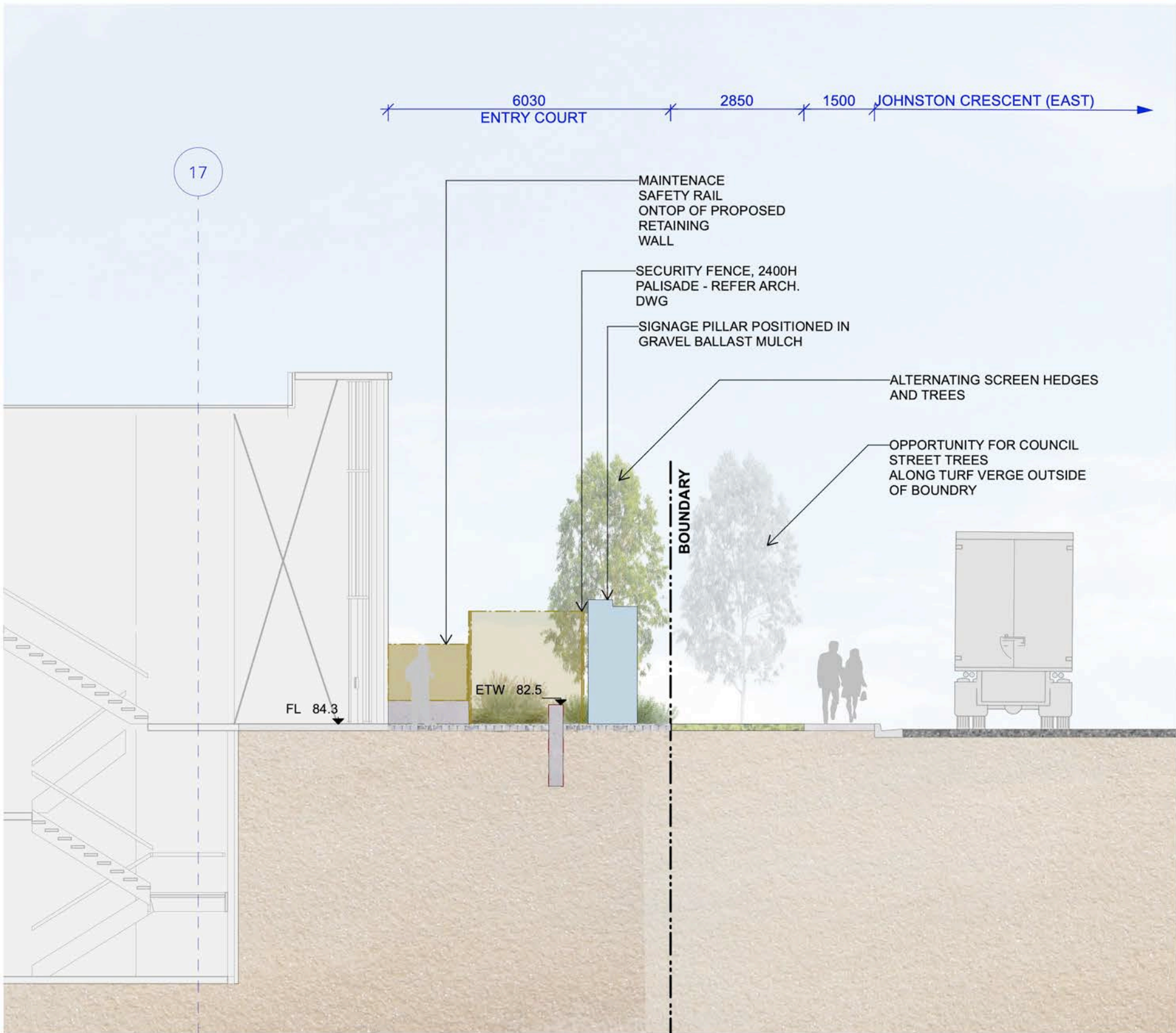




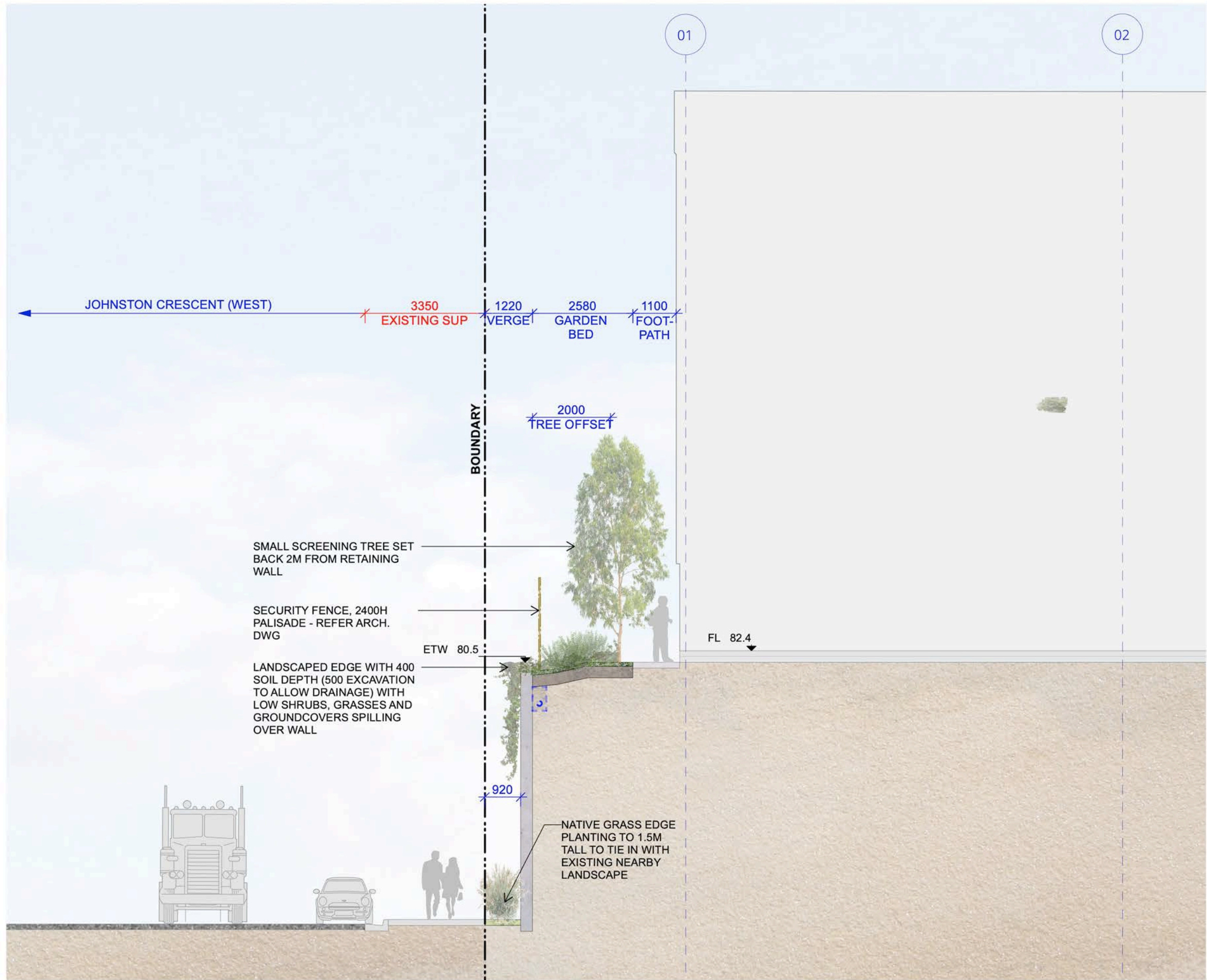
01 OFFICE B1 ENTRY  
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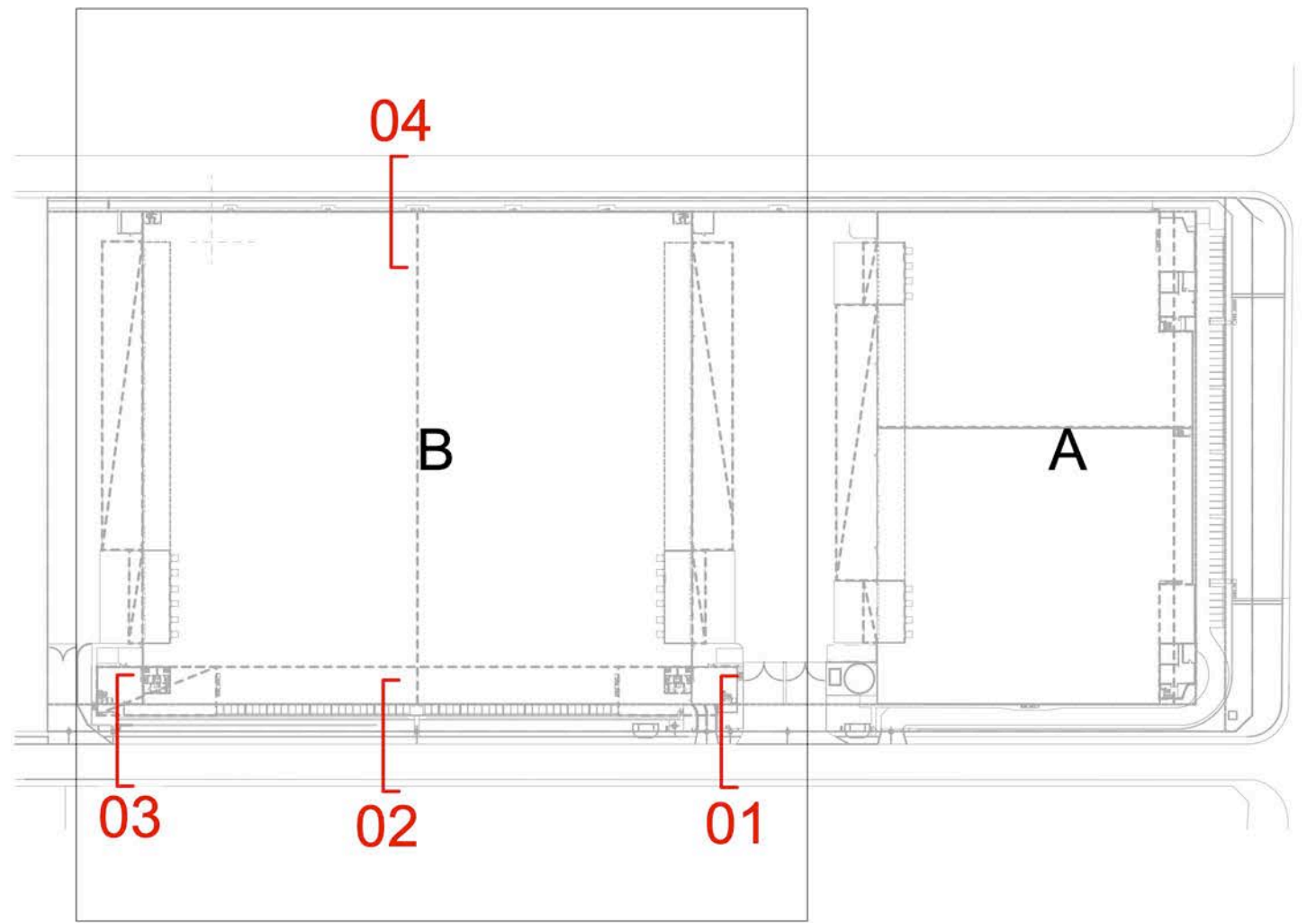
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SECTION - SCALE: 1:100@A1



03 OFFICE B2 ENTRY  
SECTION - SCALE: 1:100@A1



04 OFFICE B2 ENTRY  
SECTION - SCALE: 1:100@A1



KEY PLAN

DRAWING NUMBER	DRAWING NAME	REVISION
<b>L.SK.203</b>	Sections - Warehouse B	<b>G</b>
PROJECT NUMBER SD-251-24	DRAWING DATE 9/7/2024	SCALE 1:100
SCALE BAR 0 1 2 3 4 5 M		STATUS <b>DRAFT</b>
DRAWING NUMBER <b>L.SK.203</b>		REVISION <b>G</b>

PROJECT NAME AND ADDRESS	CLIENT NAME	DRAWN BY	CHECKED BY
<b>ESR Horsley Logistics Park</b> Lot 3 Horsley Park NSW	<b>ESR DEVELOPMENTS (AUST) PTY LTD</b>	<b>WP</b>	<b>CH</b>
PROJECT NAME AND ADDRESS <b>ESR Horsley Logistics Park</b> Lot 3 Horsley Park NSW		CLIENT NAME <b>ESR DEVELOPMENTS (AUST) PTY LTD</b>	

CONSULTANTS	DRAWINGS BY	LANDSCAPE ARCHITECTURE
<b>Architect</b> <b>nettleontribe</b> 117 Willoughby Road, Crows Nest, NSW 2065 (02) 9431 6431	<b>Structural Engineer</b> <b>CRG</b> 8 Windmill Street Point Sydney NSW 2000 (02) 9251 7699	<b>scape</b> DESIGN Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au
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