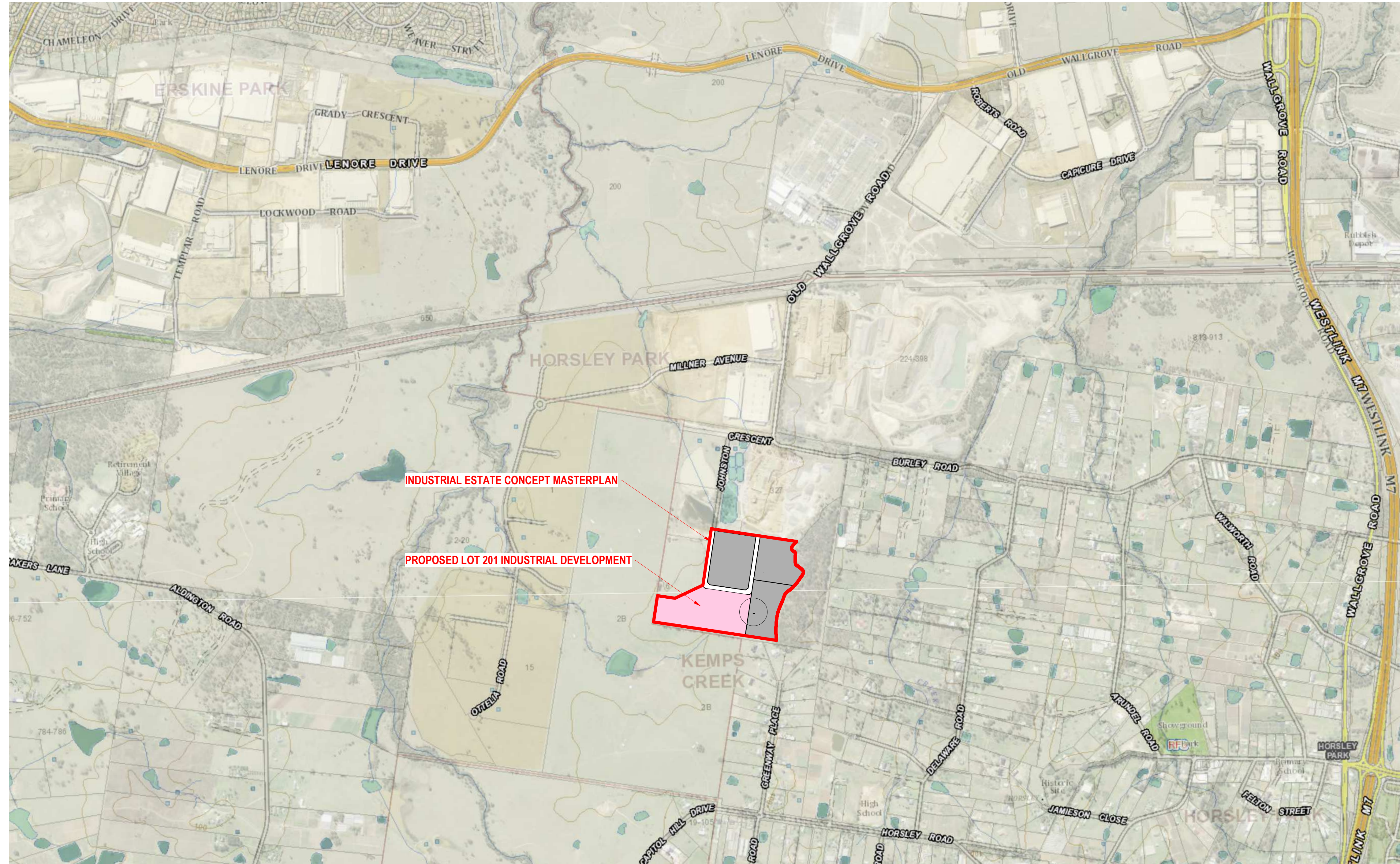


# PROPOSED INDUSTRIAL ESTATE & WAREHOUSE FACILITY DEVELOPMENT

## Proposed Lot 201 of Lot 103 in DP1214912 of 327-335 Burley Road HORSLEY PARK, NSW 2175



Drg. No.	Sheet Name	Rev
200226-DA-201-A000	LOT 201 TITLE SHEET & DRAWING LIST	C
200226-DA-201-A100	LOT 201 SITE & FACILITY PLAN	C
200226-DA-201-A110	LOT 201 OFFICE PLANS	C
200226-DA-201-A200	LOT 201 WAREHOUSE ELEVATIONS	C
200226-DA-201-A201	LOT 201 OFFICE ELEVATIONS	B
200226-DA-201-A210	LOT 201 WAREHOUSE SECTIONS	C
200226-DA-201-A500	LOT 201 ARTIST IMPRESSIONS	C

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PROJECT NUMBER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
A	DA Issue	30.03.20
B	Development Application Issue	22.06.20
C	Development Application Issue	20.10.20

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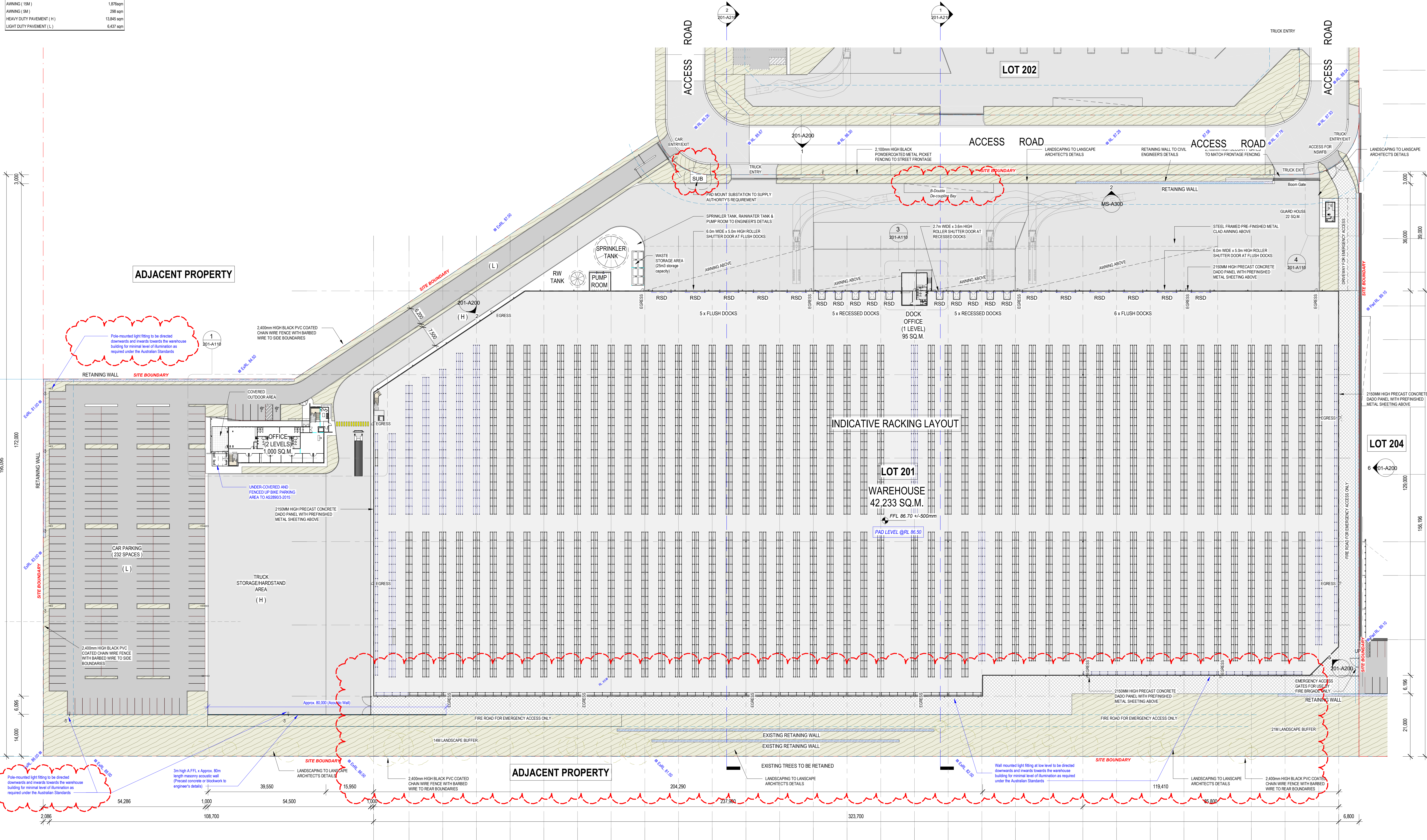
DEVELOPMENT APPLICATION

DRAWING TITLE LOT 201 TITLE SHEET & DRAWING LIST  
DRAWING NUMBER 200226 - DA - 201-A000

DRWN  
CHK  
HL  
ISSUE  
C

DEVELOPMENT SUMMARY (LOT 201)	
SITE AREA	77,310 sqm
EFFICIENCY	56.07%
WAREHOUSE	42,233 sqm
MAN OFFICE (2 Levels)	1,000 sqm
DOCK OFFICE (1 Level)	95 sqm
GUARD HOUSE	22 sqm
TOTAL BUILDING AREA	43,350 sqm
CAR PARKING PROVIDED	232 Spaces
WINNING (15M)	1,815sqm
WINNING (5M)	398 sqm
HEAVY DUTY PAVEMENT (H)	13,845 sqm
LIGHT DUTY PAVEMENT (L)	6,437 sqm

Parking Schedule (Lot 201)			
Type Mark	Type	Count	
PK-CP1	PK-CP1-5500 x 2500mm - (Disable)	2	
PK-CP2	PK-CP1-5500 x 2500mm - 90 deg	230	
Grand Total		232	



1 Site Facilities Plan (Lot 201)  
MS-A101 1:500 @B1



PROJECT NUMBER: 200226  
 PROJECT: ESR HORSLEY LOGISTIC PARK  
 ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW

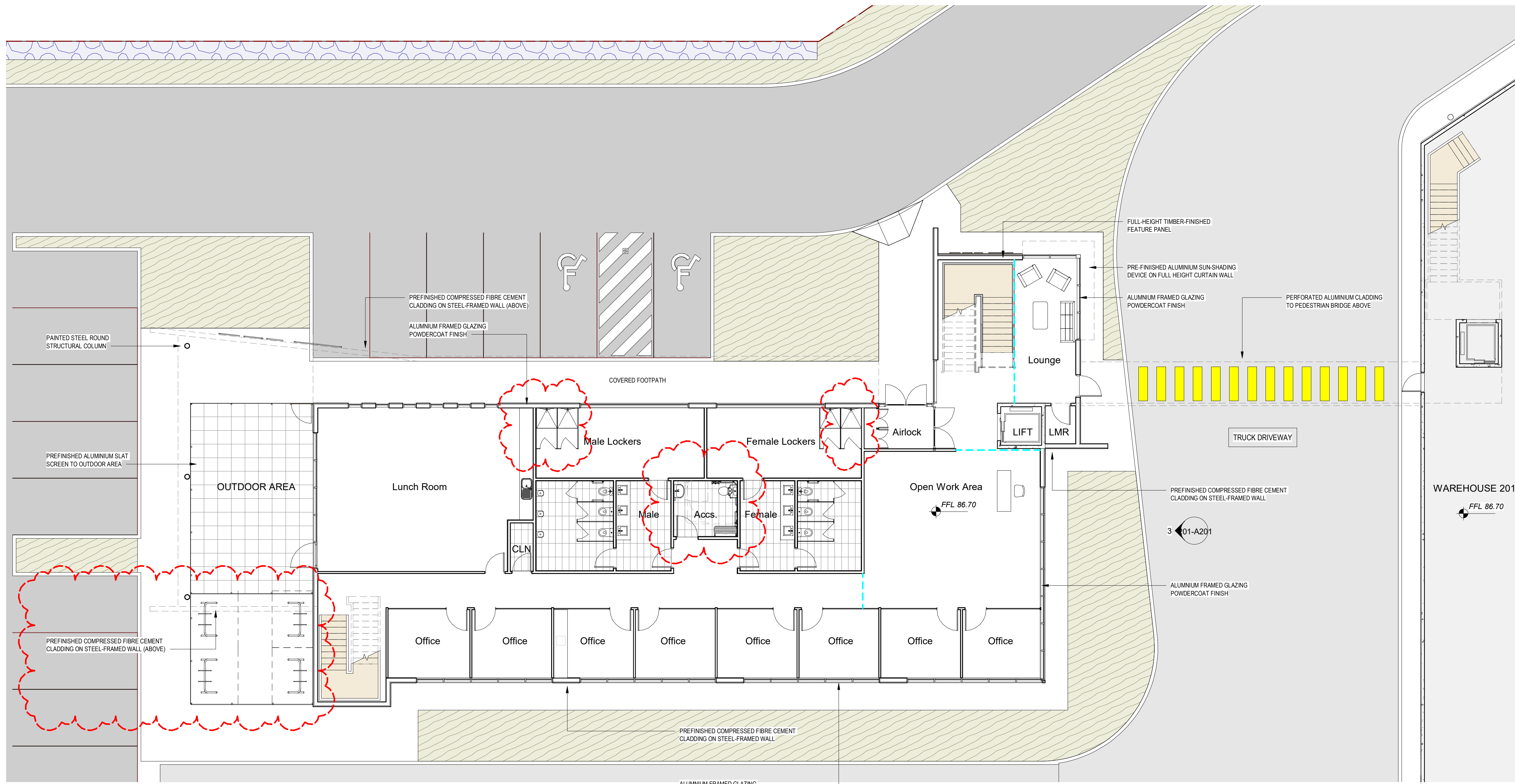
Rev	Description	Date
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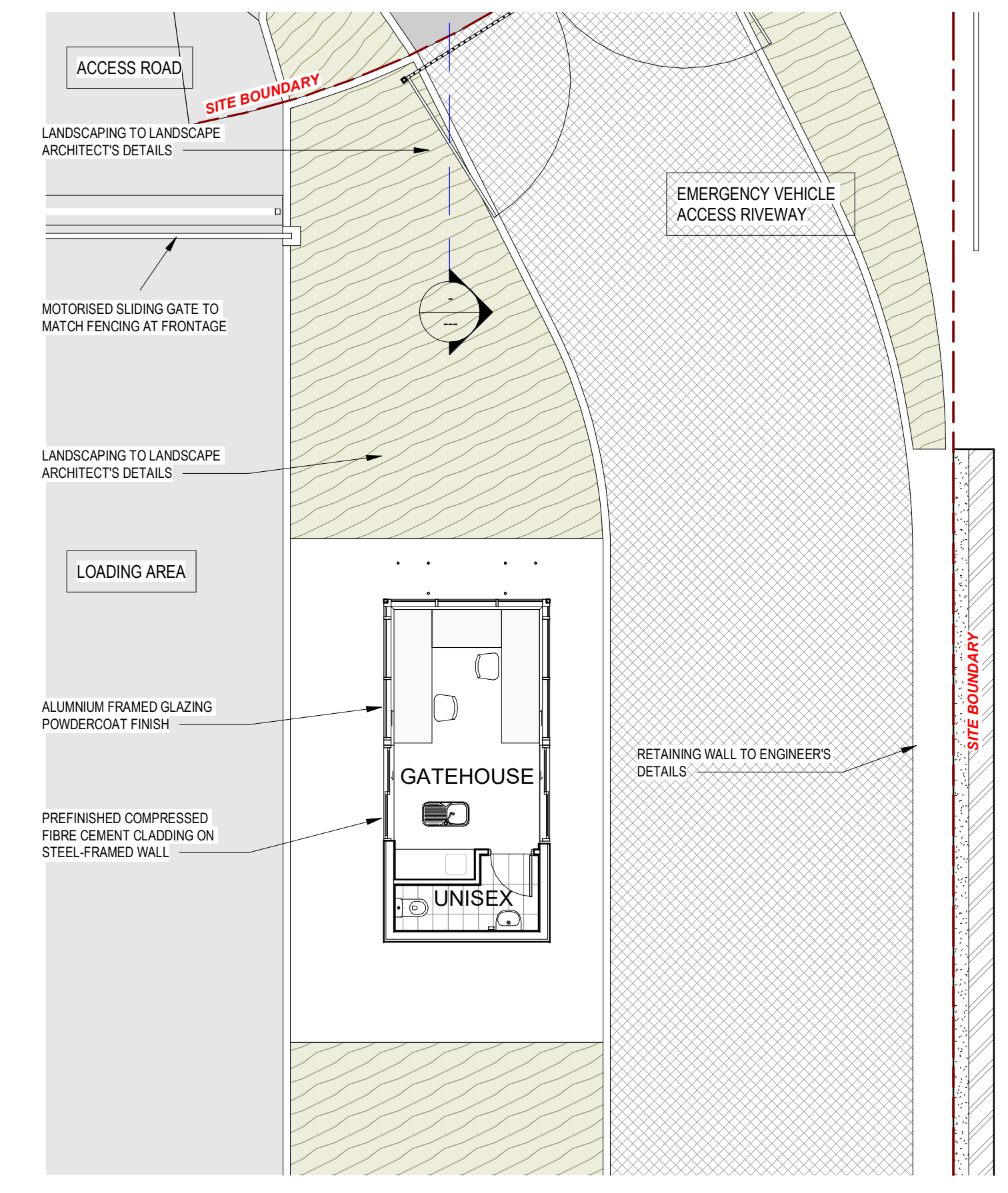
Development Application  
 LOT 201 SITE & FACILITY PLAN  
 DRAWING NUMBER: 200226 - DA - 201-A100



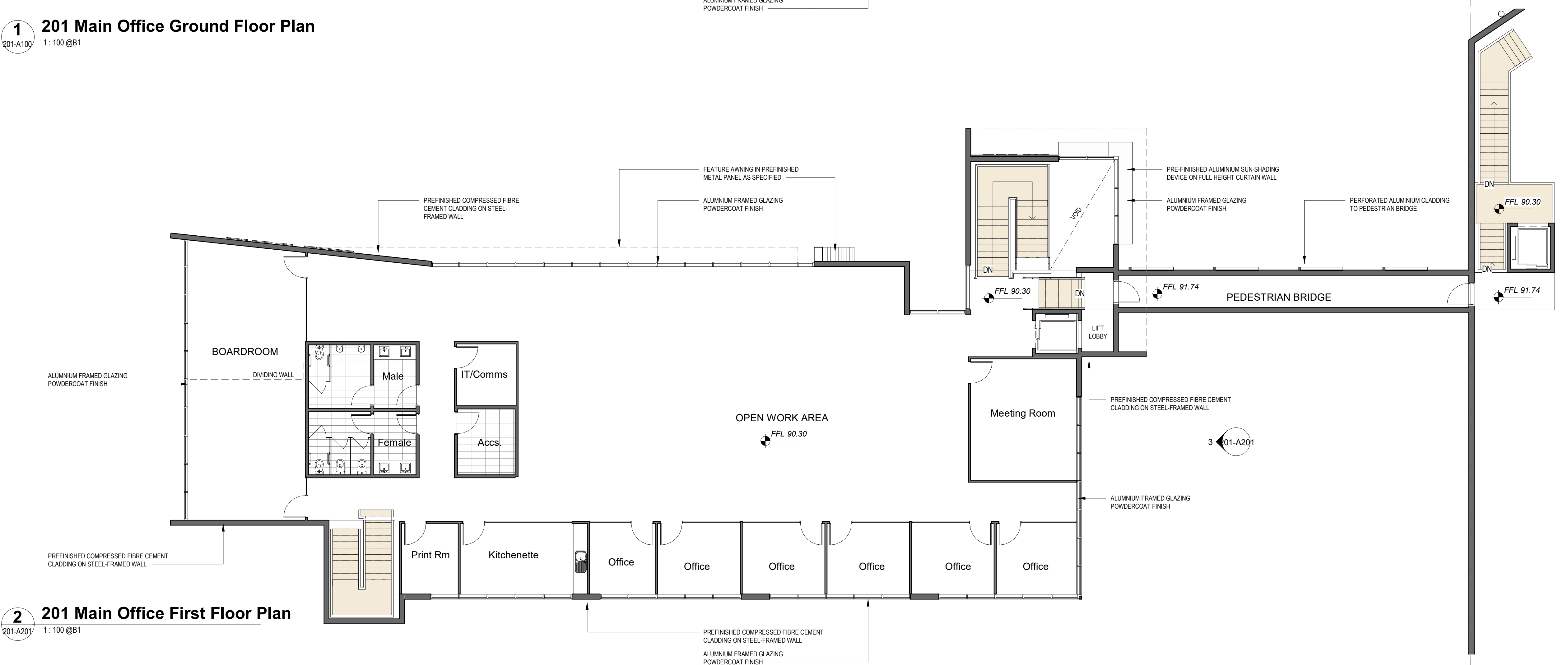
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 CHK: HL  
 ISSU: E  
 C



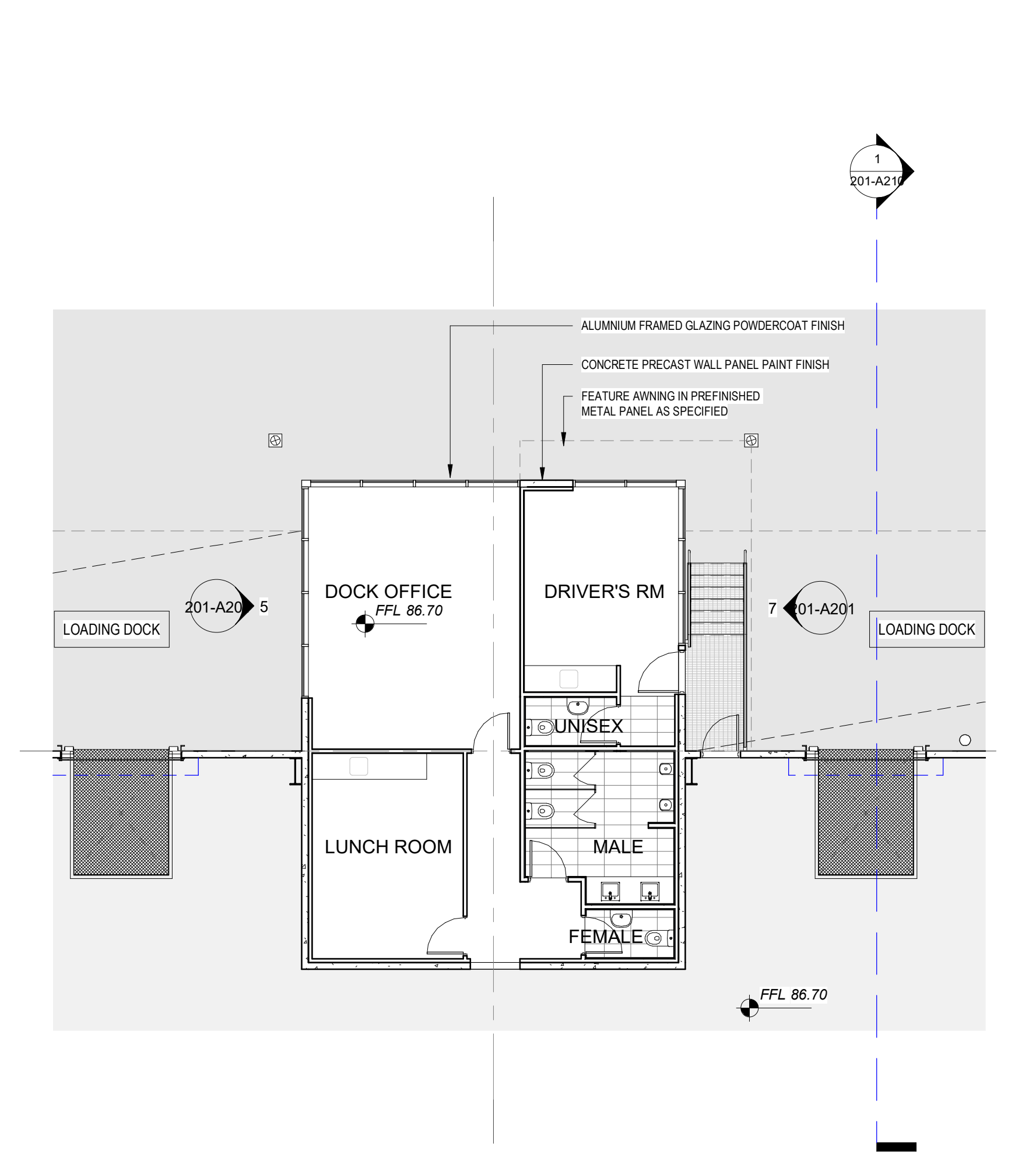
**1 201 Main Office Ground Floor Plan**  
201-A100 1:100 @B1



**4 201 Gate House Floor Plan**  
201-A100 1:100 @B1



**2 201 Main Office First Floor Plan**  
201-A201 1:100 @B1



**3 Dock Office Floor Plan**  
201-A100 1:100 @B1

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PROJECT MANAGER  
PROJECT NUMBER 200226

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD HORSLEY PARK NSW  
PROJECT NUMBER 200226

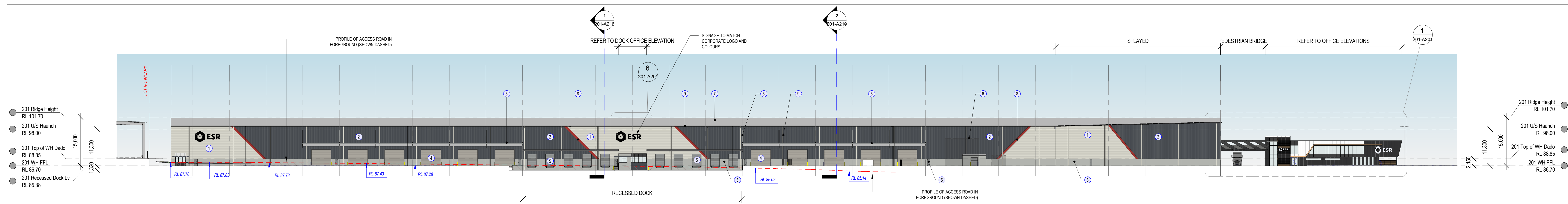
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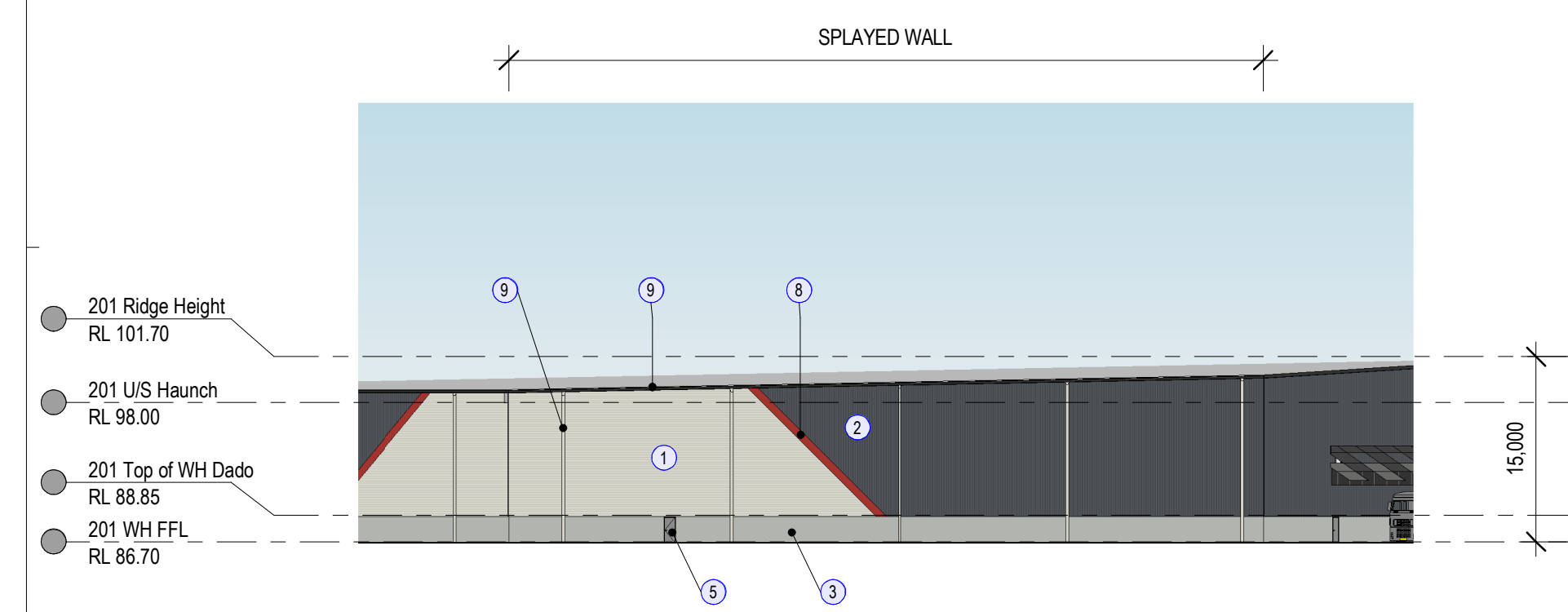
HL Architects Pty Ltd A.C.N. 161 638 320  
nominated architect: KOK HOING LAM  
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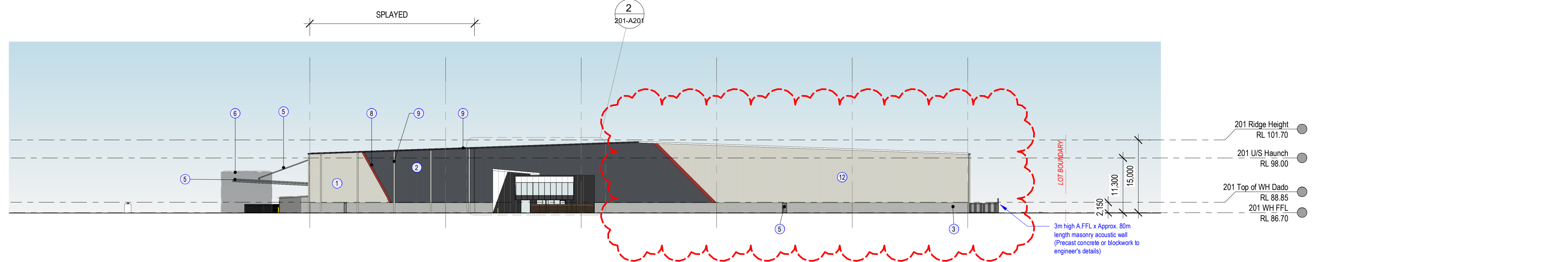
DEVELOPMENT APPLICATION  
DRAWING TITLE LOT 201 OFFICE PLANS  
DRAWING NUMBER 200226 - DA - 201-A110  
C



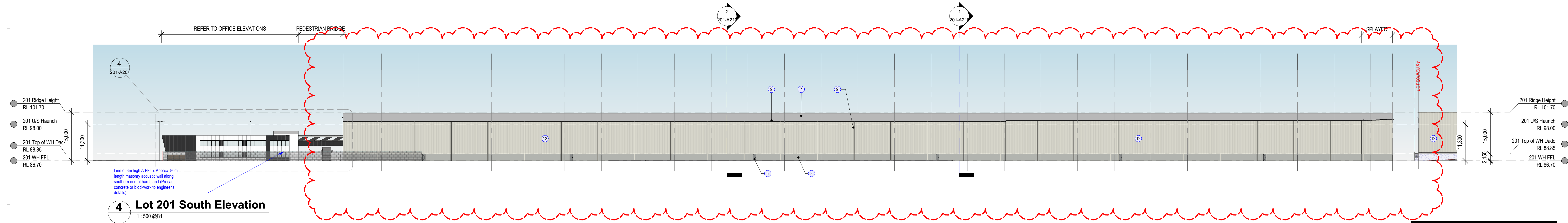
**1 Lot 201 North Elevation (Access Road)**  
201-A100 1:500 @B1



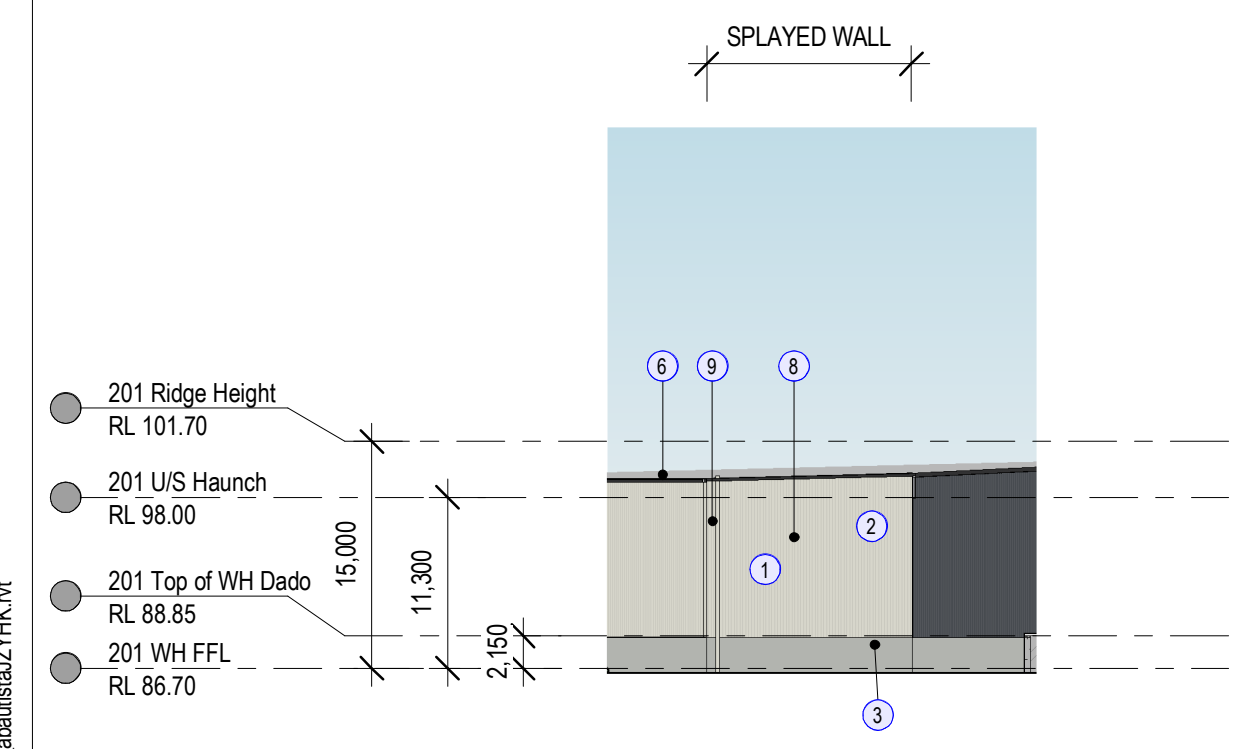
**2 Lot 201 NW Splayed Wall Elevation**  
201-A100 1:500 @B1



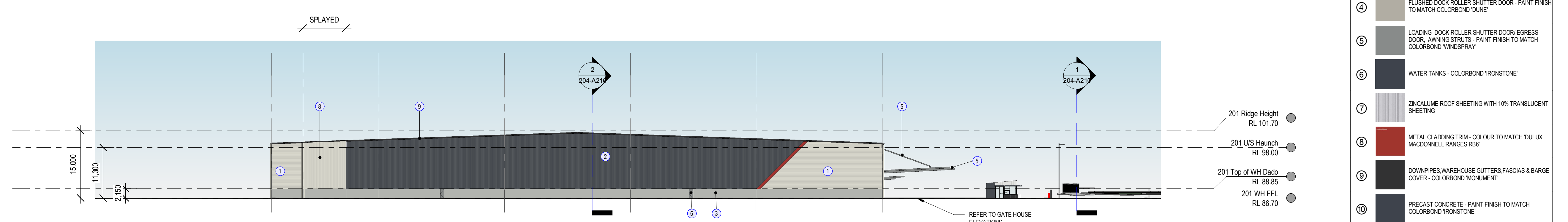
**3 Lot 201 West Elevation**  
201-A100 1:500 @B1



**4 Lot 201 South Elevation**  
201-A100 1:500 @B1



**5 Lot 201 SE Splayed Wall Elevation**  
201-A100 1:500 @B1



**6 Lot 201 East Elevation**  
201-A100 1:500 @B1

WAREHOUSE EXTERNAL FINISHES	
1	PRE-FINISHED METAL CLADDING - COLORBOND SURFMIST HORIZONTAL SPAN
2	PRE-FINISHED METAL CLADDING - COLORBOND IRONSTONE
3	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'SHALE GREY'
4	FLUSHED DOCK ROLLER SHUTTER DOOR - PAINT FINISH TO MATCH COLORBOND 'DUNE'
5	LOADING DOCK ROLLER SHUTTER DOOR/EGRESS DOOR, RAISING STRUTS - PAINT FINISH TO MATCH COLORBOND 'WINDSPRAY'
6	WATER TANKS - COLORBOND 'IRONSTONE'
7	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING
8	METAL CLADDING TRIM - COLOUR TO MATCH DULUX MACDONNELL RANGES R8F
9	DOWNPIPES, WAREHOUSE GLITTERS, FASCIAS & BARGE COVER - COLORBOND 'MONUMENT'
10	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'IRONSTONE'
11	PRECAST CONCRETE / WING WALL - PAINT FINISH TO MATCH COLORBOND 'SURFMIST'
12	PRE-FINISHED METAL CLADDING - COLORBOND SURFMIST VERTICAL SPAN

**DEVELOPMENT APPLICATION**



PROJECT BANNER  
PROJECT: ESR HORSLEY LOGISTIC PARK  
ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
PROJECT NUMBER: 200226

Rev	Description	Date
A	DA Issue	30.03.20
B	Development Application Issue	22.06.20
C	Development Application Issue	20.10.20

Rev	Description	Date
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DRAWING TITLE: LOT 201 WAREHOUSE ELEVATIONS  
DRAWING NUMBER: 200226 - DA - 201-A200  
C

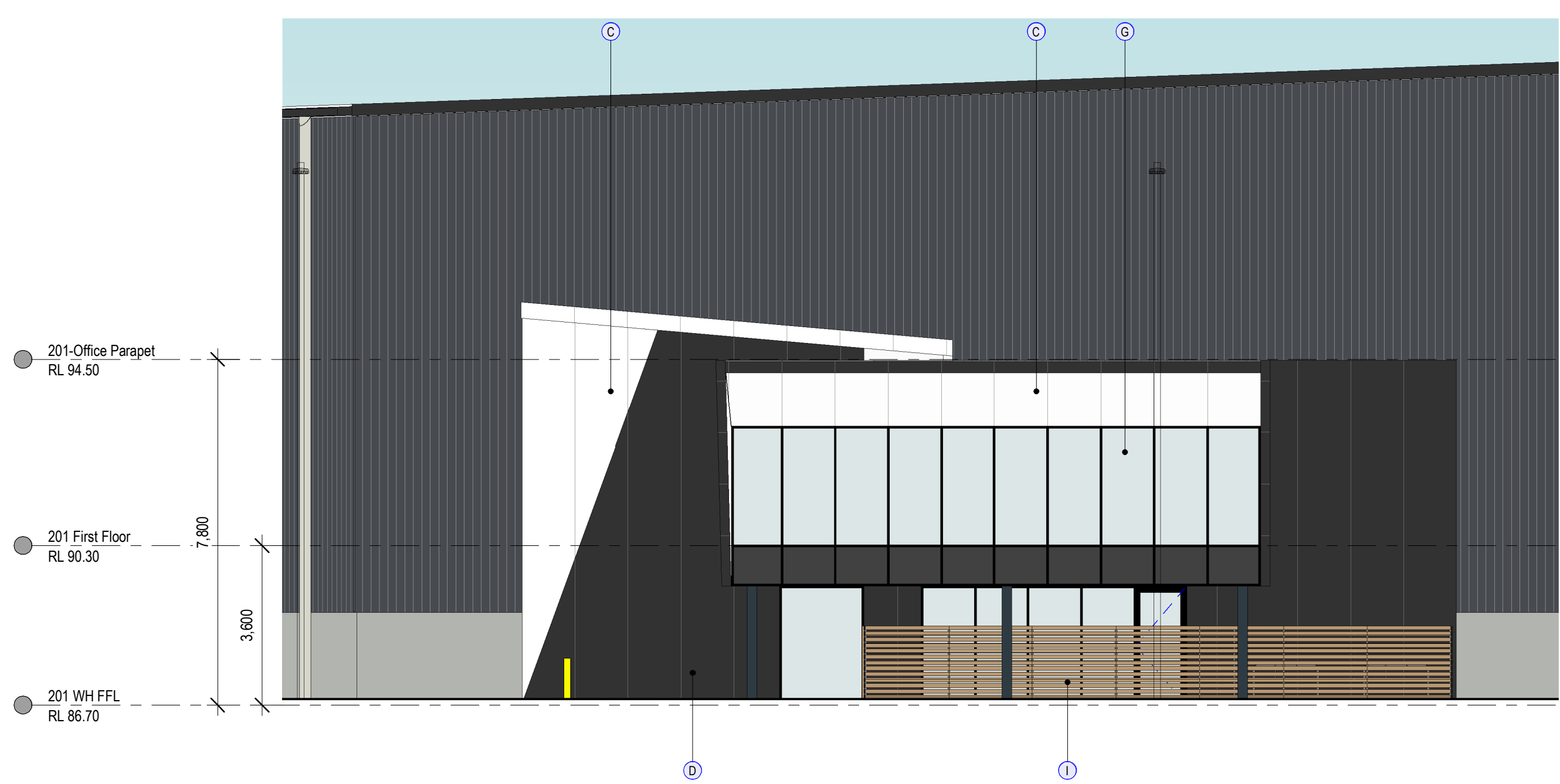
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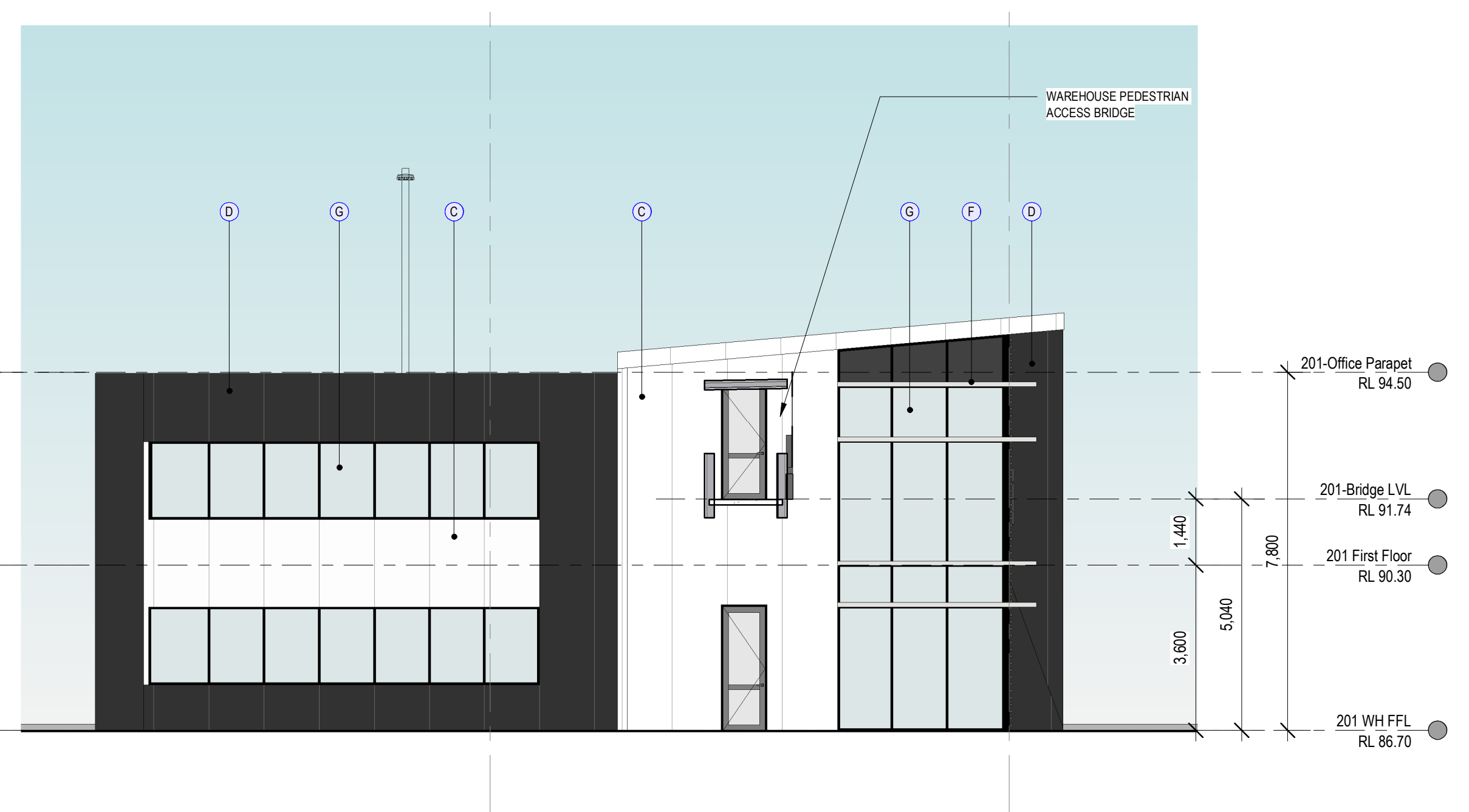
**1 201 North Elevation (Main Office)**  
201-A200 1:100 @B1



**6 201 North Elevation (Dock Office)**  
201-A200 1:100 @B1



**2 201 West Elevation (Main Office)**  
201-A200 1:100 @B1

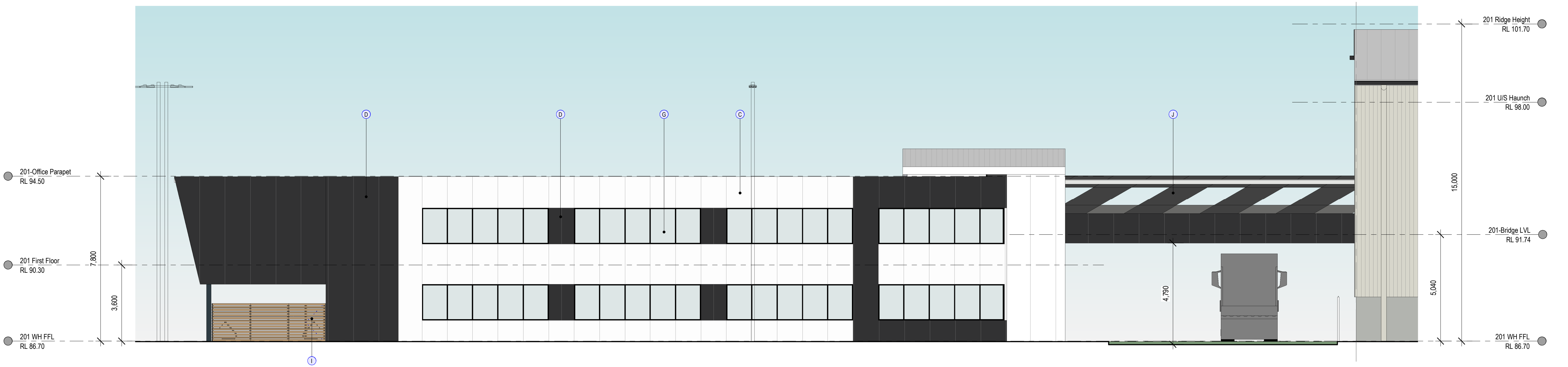


**3 201 East Elevation (Main Office)**  
201-A110 1:100 @B1



**5 201 West Elevation (Dock Office)**  
201-A110 1:100 @B1

**7 201 East Elevation (Dock Office)**  
201-A110 1:100 @B1



**4 201 South Elevation (Main Office)**  
201-A200 1:100 @B1

OFFICE EXTERNAL FINISHES	
(A)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB IRONSTONE'
(B)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB SHALE GREY'
(C)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'VIVID WHITE'
(D)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'CB IRONSTONE'
(E)	PRE-FINISHED PANELISED LIGHT WEIGHT CLADDING FINISHES TO SIMULATE TIMBER FINISHES
(F)	ALUMINIUM FEATURE SUN-SHADING. POWDERCOATED FINISH COLOUR TO MATCH 'CITI SILVER PEARL'
(G)	POWDERCOATED ALUMINIUM FRAMED GLAZING TO COMPLY WITH NCC SECTION J
(H)	HORIZONTAL FEATURE SLAT SCREEN ON PAINTED COMPRESSED FIBRE CEMENT CLAD WALL - COLOUR TO MATCH 'KNOTWOOD'
(I)	HORIZONTAL SLAT SCREEN FENCING TO OUTDOOR AREA - COLOUR TO MATCH 'KNOTWOOD'
(J)	PERFORATED ALUMINIUM PANEL SCREENING. POWDER COATED FINISH TO MATCH 'ZEUS GREY & ZEUS MONUMENT'
(K)	PROPRIETARY HORIZONTAL/VERTICAL LOUVER SUNSHADING. PRE-FINISHED TO SIMULATE TIMBER FINISH

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PROJECT MANAGER

PROJECT: ESR HORSLEY LOGISTIC PARK  
ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
PROJECT NUMBER: 200226

Rev	Description	Date
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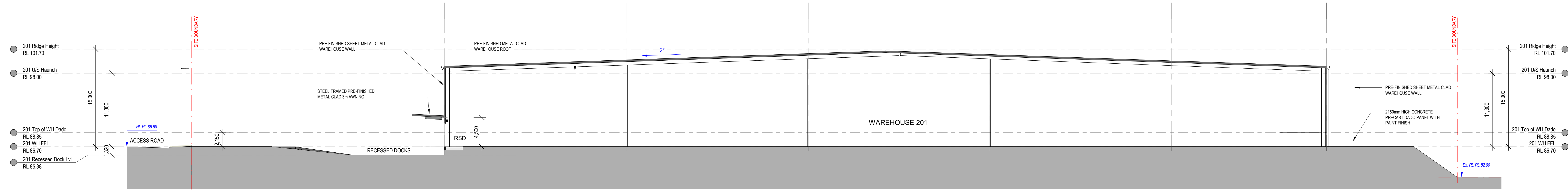
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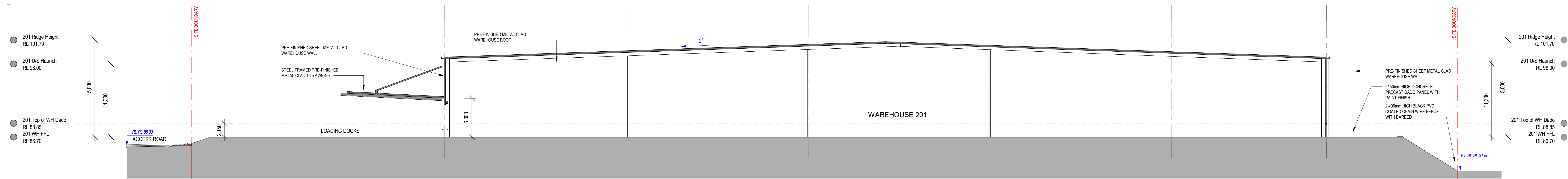
DEVELOPMENT APPLICATION

DRAWING TITLE: LOT 201 OFFICE ELEVATIONS  
DRAWING NUMBER: 200226 - DA - 201-A201  
DRAWN BY: AB  
CHK: HL  
ISSUE: B

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**1 Lot 201 Cross Section (Recessed Dock)**  
201-A100 1:250 @B1



**2 Lot 201 Cross Section (Flushed Dock)**  
201-A100 1:250 @B1



PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

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**DEVELOPMENT APPLICATION**

DRAWING TITLE LOT 201 WAREHOUSE SECTIONS  
DRAWING NUMBER 200226 - DA - 201-A210

DRWN AB  
CHK HL  
ISSUE



ESTATE CONCEPT MASTERPLAN AERIAL VIEW 1



LOT 201 MAIN OFFICE ARTIST IMPRESSION 1



ESTATE CONCEPT MASTERPLAN AERIAL VIEW 2



LOT 201 MAIN OFFICE ARTIST IMPRESSION 2

DEVELOPMENT APPLICATION



PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
 ADDRESS 327-335 BURLEY ROAD  
 HORSLEY PARK NSW  
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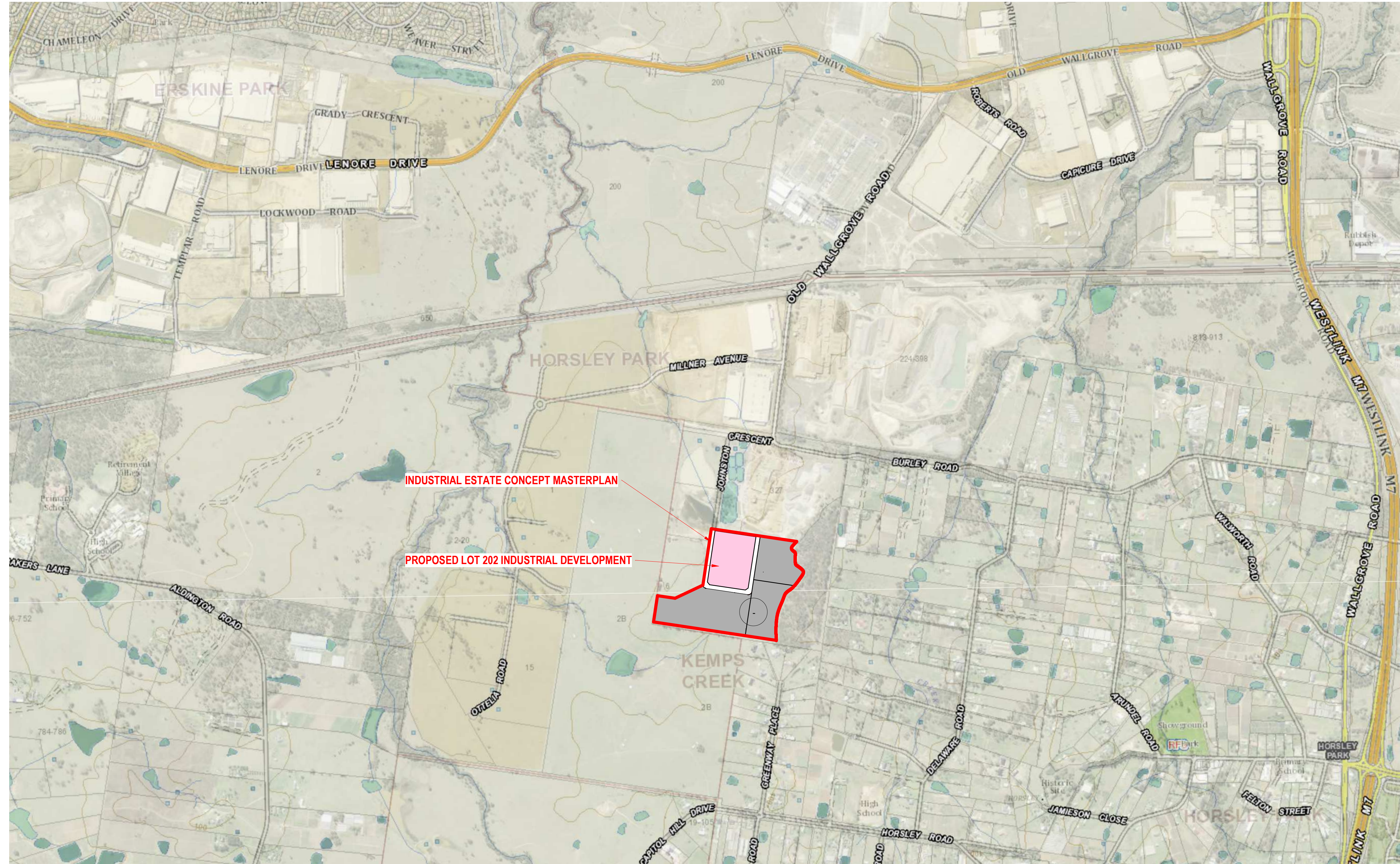
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DRWN  
 CHK  
 HLA  
 ISSUE  
 C

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# PROPOSED INDUSTRIAL ESTATE & WAREHOUSE FACILITY DEVELOPMENT

## Proposed Lot 202 of Lot 103 in DP1214912 of 327-335 Burley Road HORSLEY PARK, NSW 2175



Drg. No.	Sheet Name	Rev
200226-DA-202-A000	LOT 202 TITLE SHEET & DRAWING LIST	B
200226-DA-202-A100	LOT 202 SITE & FACILITY PLAN	B
200226-DA-202-A110	LOT 202 OFFICE A PLANS	B
200226-DA-202-A111	LOT 202 OFFICE B PLANS	B
200226-DA-202-A200	LOT 202 WAREHOUSE ELEVATIONS	A
200226-DA-202-A201	LOT 202 OFFICE ELEVATIONS	A
200226-DA-202-A210	LOT 202 WAREHOUSE SECTIONS	A

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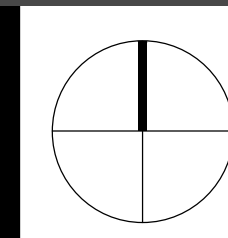
PROJECT NUMBER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

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DEVELOPMENT APPLICATION

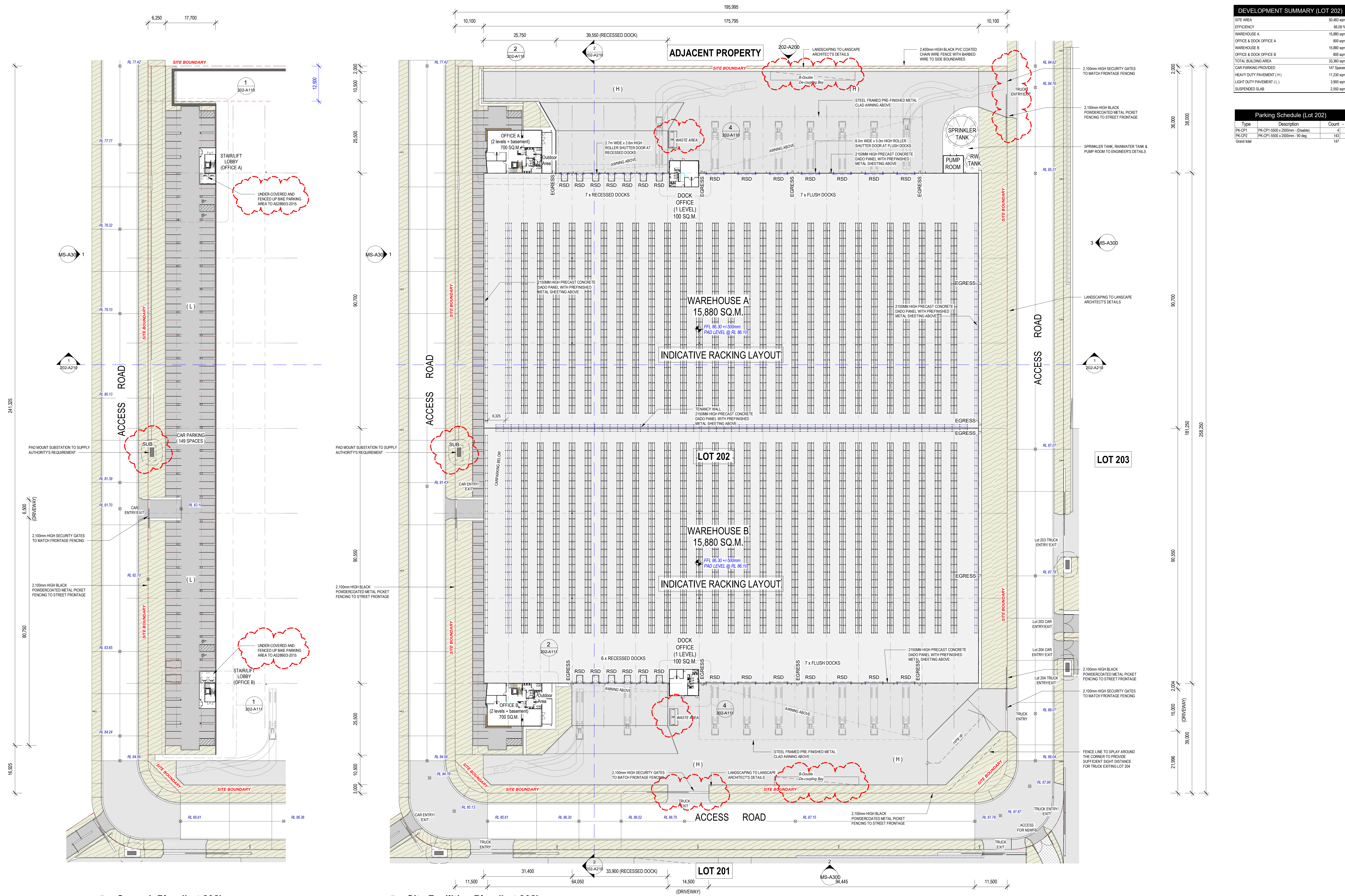
DRAWING TITLE LOT 202 TITLE SHEET & DRAWING LIST  
DRAWING NUMBER 200226 - DA - 202-A000

DRWN  
CHK  
HL  
ISSUE  
B



DEVELOPMENT SUMMARY (LOT 202)		
SITE AREA	50,483 sqm	
EFFICIENCY	66.08 %	
WAREHOUSE A	15,880 sqm	
OFFICE & DOCK OFFICE A	800 sqm	
WAREHOUSE B	15,880 sqm	
OFFICE & DOCK OFFICE B	800 sqm	
TOTAL BUILDING AREA	33,320 sqm	
CAR PARKING PROVIDED	147 Spaces	
HEAVY DUTY PAVEMENT (H)	11,230 sqm	
LIGHT DUTY PAVEMENT (L)	3,900 sqm	
SUSPENDED SLAB	2,560 sqm	

Parking Schedule (Lot 202)		
Type	Description	Count
PK-CF1	PK-CF1-5500 x 2500mm - (Disable)	4
PK-CF2	PK-CF2-5500 x 2500mm - 90 deg	143
Grand total		147



**2 Carpark Plan (Lot 202)**  
202-A200 1:500 @B1

**1 Site Facilities Plan (Lot 202)**  
202-A200 1:500 @B1

PROJECT NUMBER: 200226  
 ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
 PROJECT NUMBER: 200226

Rev	Description	Date
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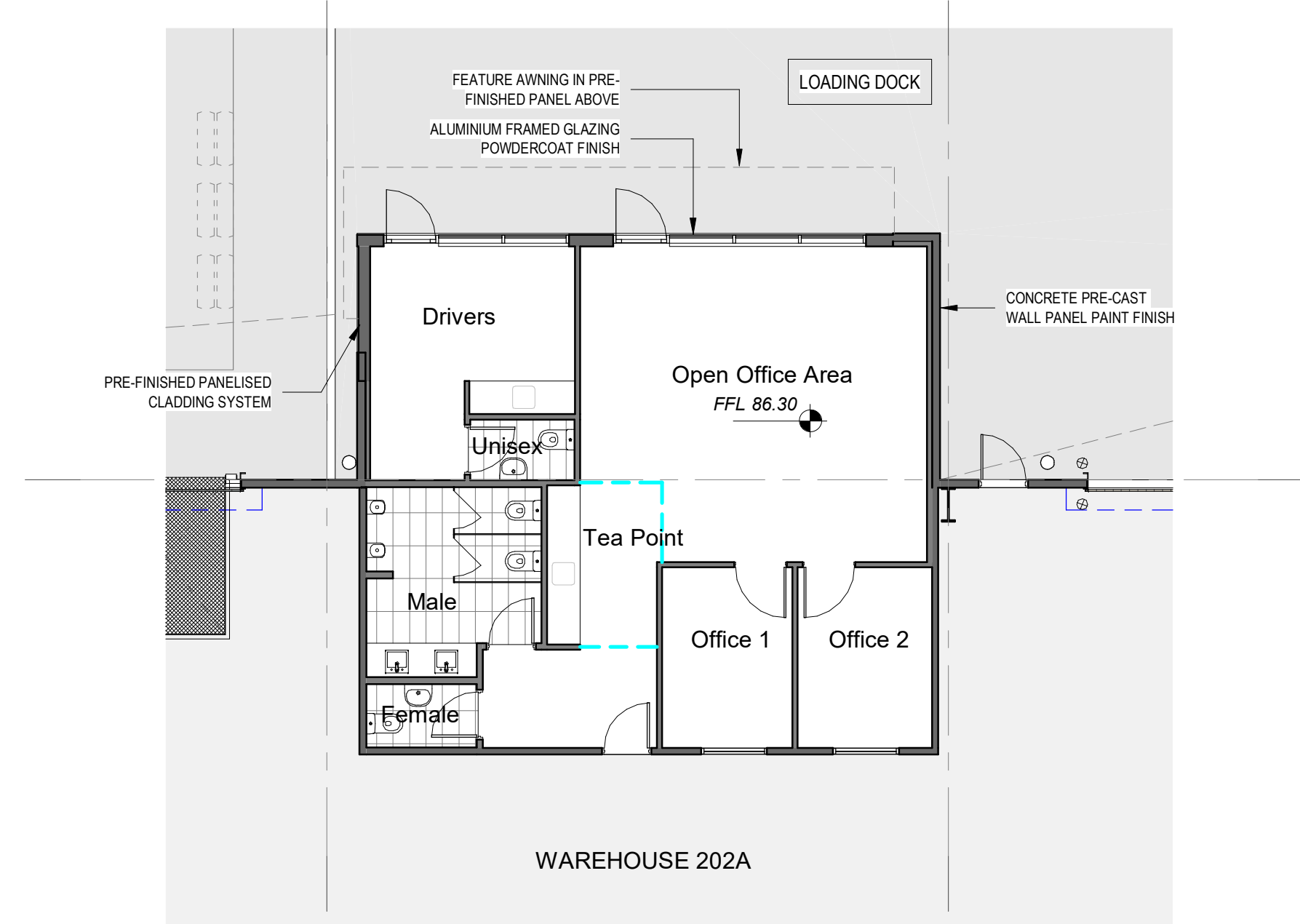
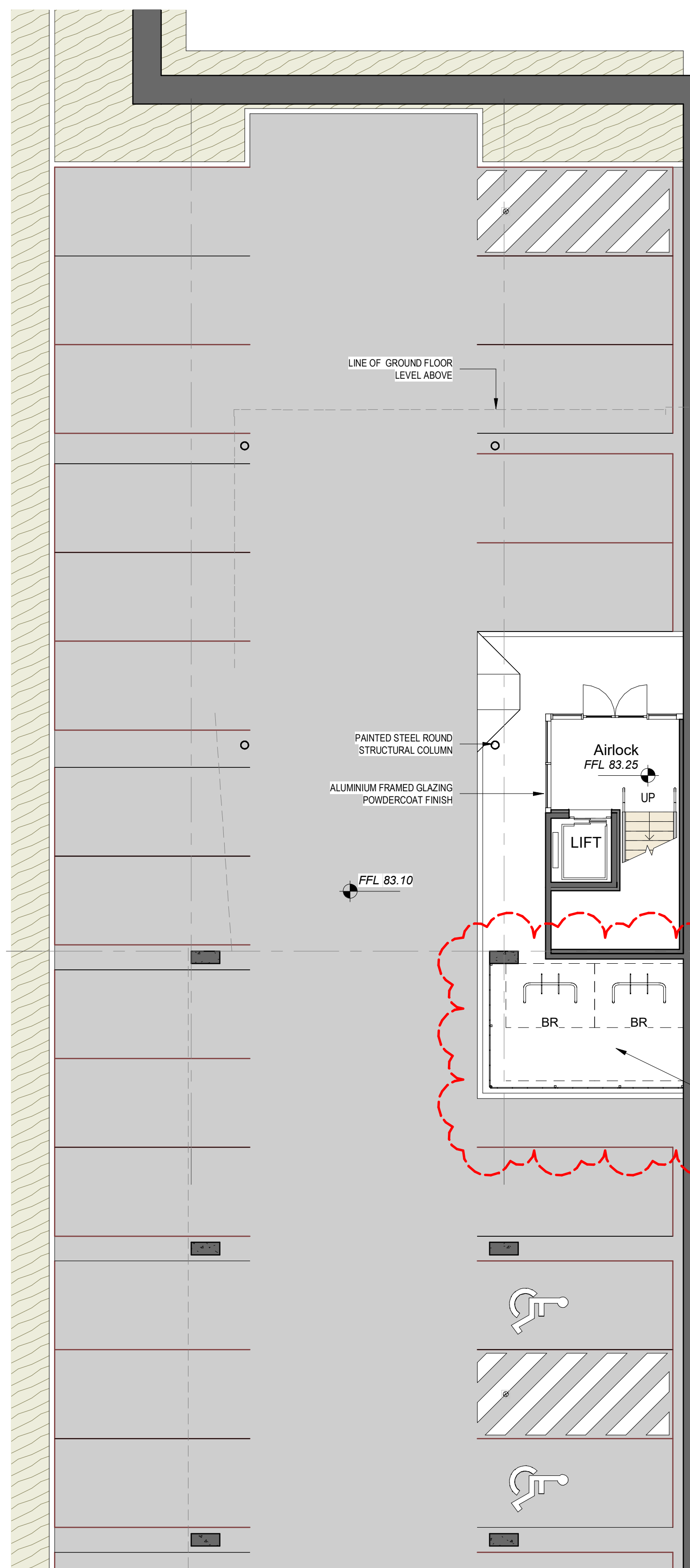
HL Architects Pty Ltd A.C.N. 161 638 320  
 02 9156 9942  
 0424 160 365  
 www.hlarchitects.com.au  
 Suite 51, 9 George St, North Strathfield NSW 2137

**hl architects**

DRAWING TITLE: LOT 202 SITE & FACILITY PLAN  
 DRAWING NUMBER: 200226 - DA - 202-A100

**DRAFT**

ISSUE: B



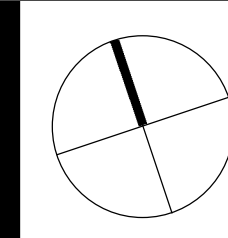
PROJECT MANAGER

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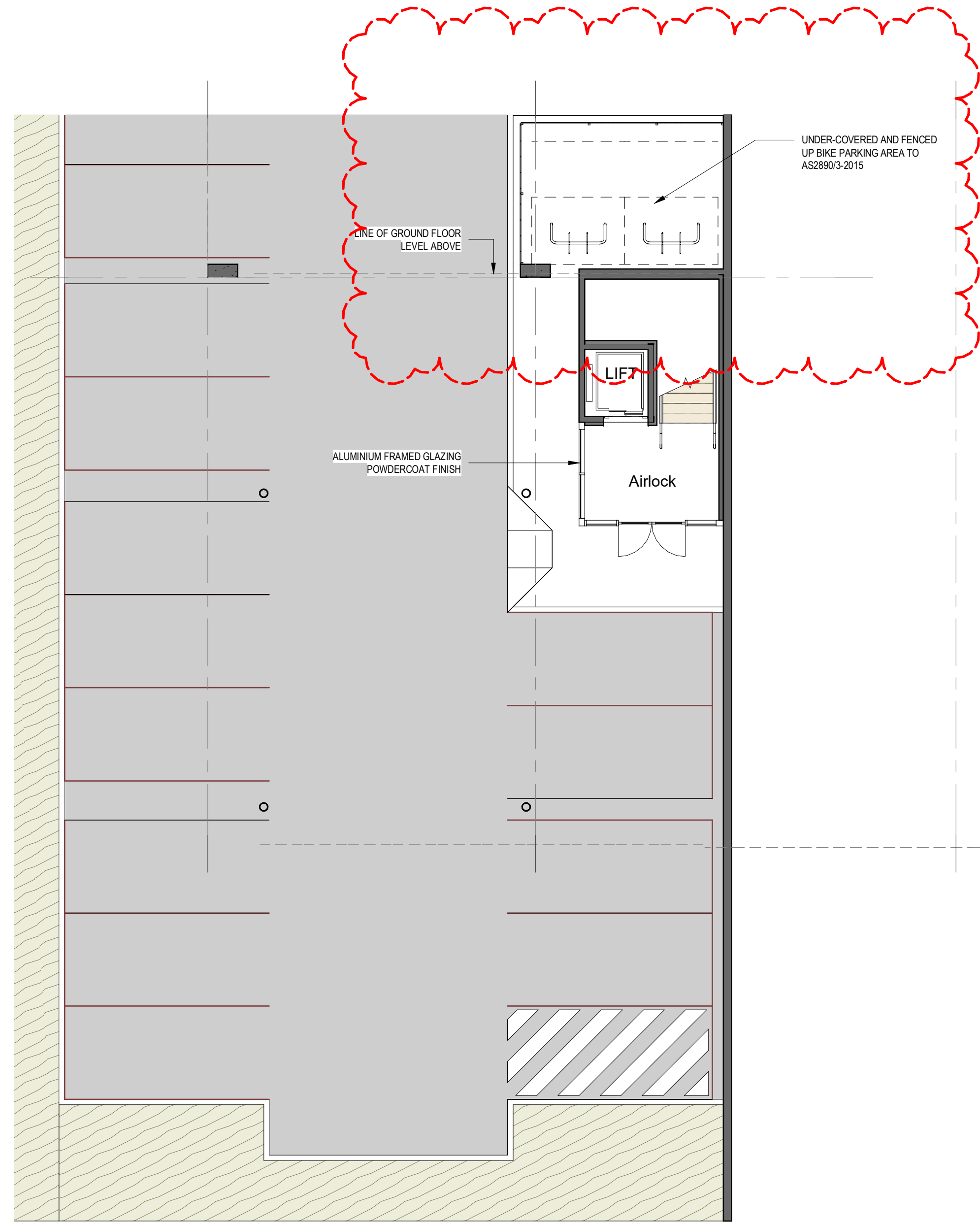
DEVELOPMENT APPLICATION

DRAWING TITLE LOT 202 OFFICE A PLANS  
DRAWING NUMBER 200226 - DA - 202-A110

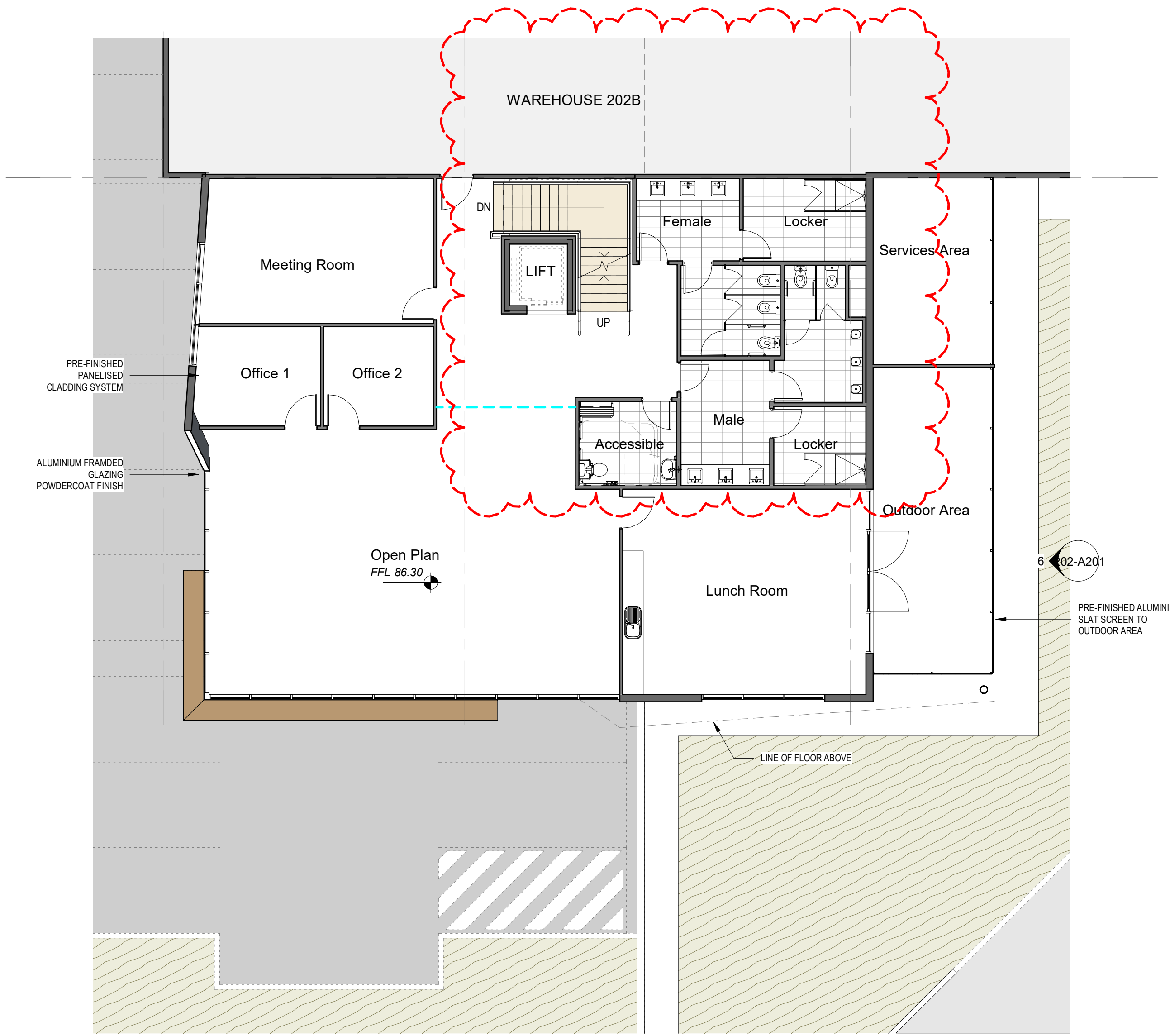
DRAWN MZ  
CHK HL  
ISSUE

B

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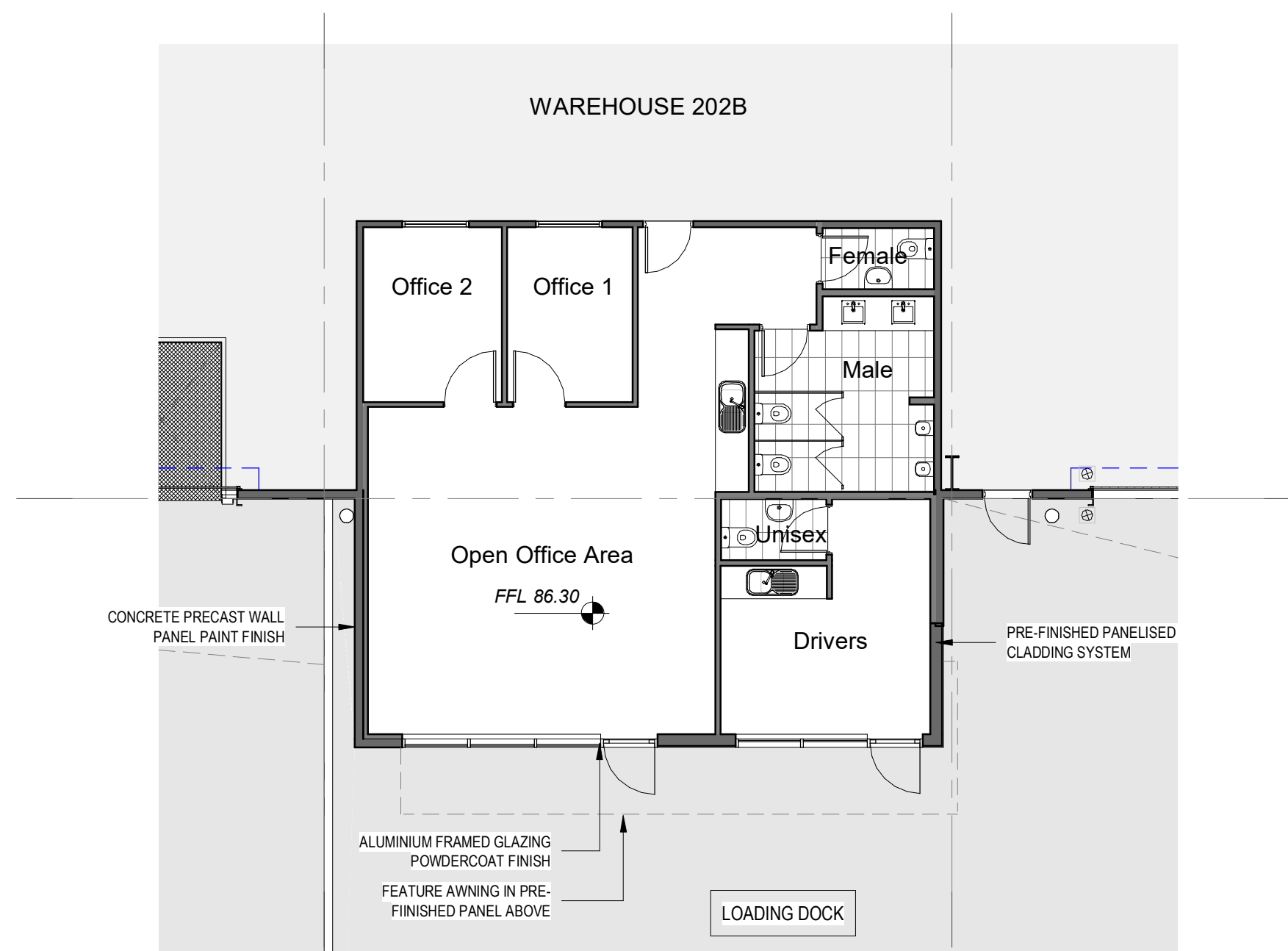
**1 Main Office Lower Ground Floor (WH-202B)**  
202-A100 1:100 @B1



**2 Main Office Ground Floor (WH-202B)**  
202-A100 1:100 @B1



**3 Main Office First Floor (WH-202B)**  
202-A201 1:100 @B1



**4 Dock Office Plan (WH-202B)**  
202-A100 1:100 @B1

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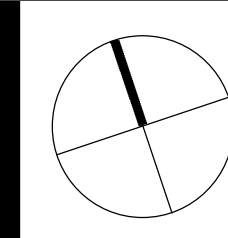
PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

General Notes:  
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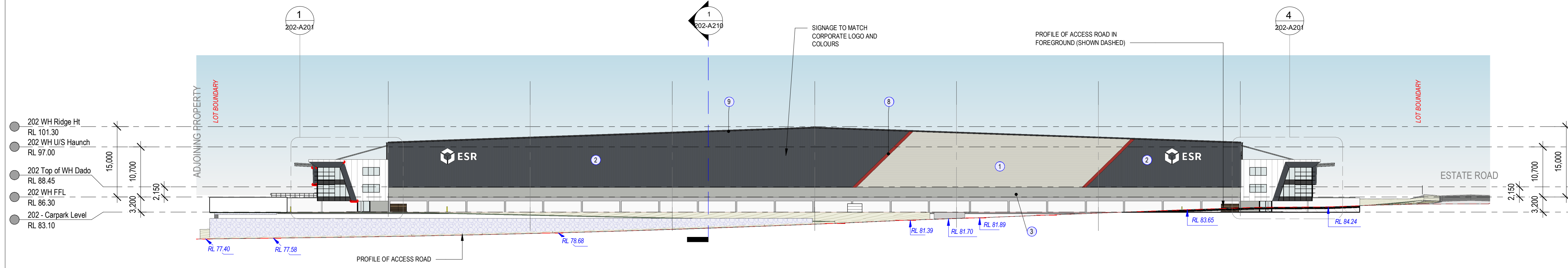
HLA Architects Pty Ltd A.C.N. 161 638 320  
nominated architect: KOK HONG LAM  
(Reg No. NSW #1559, QLD #6020, TAS #1101)  
e admin@hlaarchitects.com.au  
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m 0424 160 365  
www.hlaarchitects.com.au  
a Suite 51, 9 George St, North Strathfield NSW 2137



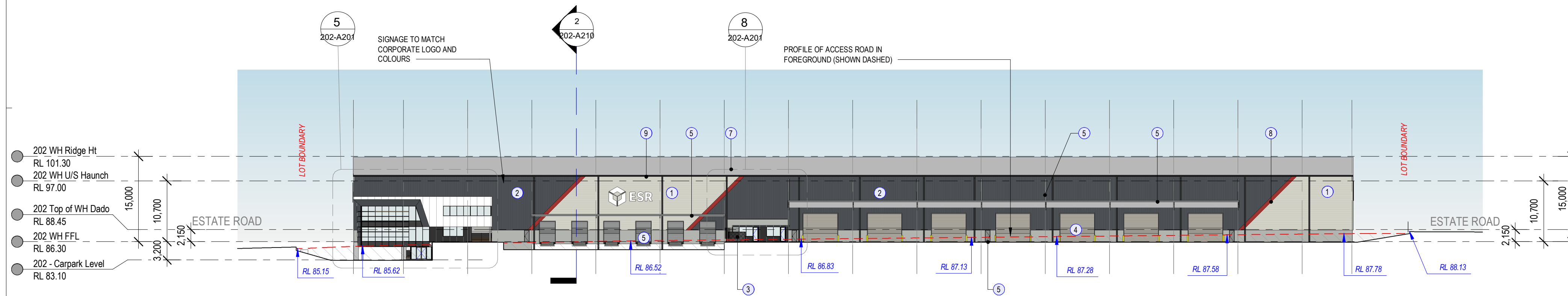
DEVELOPMENT APPLICATION

DRAWING TITLE LOT 202 OFFICE B PLANS  
DRAWING NUMBER 200226 - DA - 202-A111

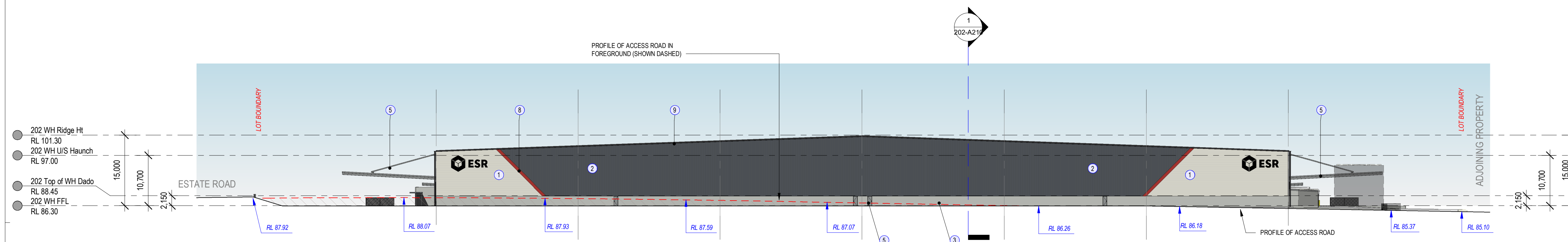
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ISSUE



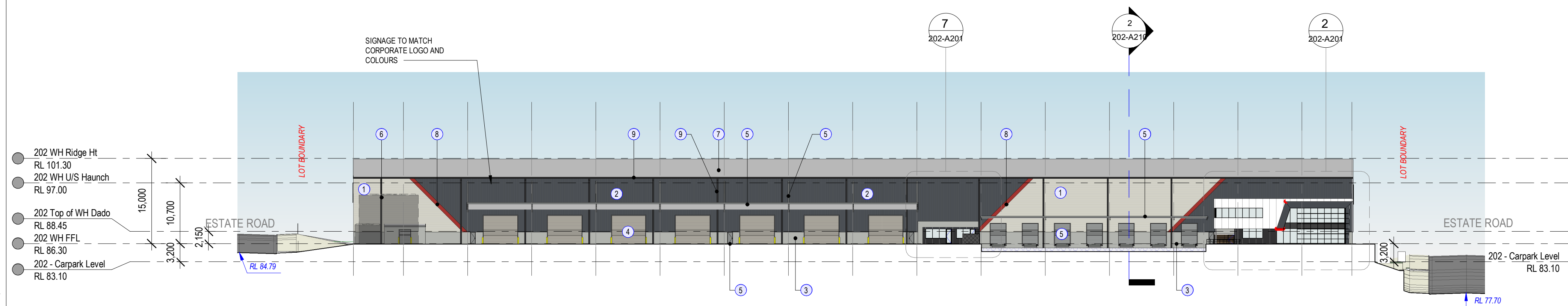
**1 Lot 202 West Elevation (Access Road)**  
MS-A300 1:500 @B1



**2 Lot 202 South Elevation (Access Road)**  
MS-A300 1:500 @B1



**3 Lot 202 East Elevation (Access Road)**  
MS-A300 1:500 @B1



**4 Lot 202 North Elevation**  
202-A100 1:500 @B1

WAREHOUSE EXTERNAL FINISHES	
①	PRE-FINISHED METAL CLADDING - COLORBOND 'SURFMIST' HORIZONTAL SPAN
②	PRE-FINISHED METAL CLADDING - COLORBOND 'IRONSTONE'
③	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'SHALE GREY'
④	FLUSHED DOCK ROLLER SHUTTER DOOR - PAINT FINISH TO MATCH COLORBOND 'DUNE'
⑤	LOADING DOCK ROLLER SHUTTER DOOR/EGRESS DOOR - AWNING STRUTS - PAINT FINISH TO MATCH COLORBOND 'WINDSPRAY'
⑥	WATER TANKS - COLORBOND 'IRONSTONE'
⑦	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING
⑧	METAL CLADDING TRIM - COLOUR TO MATCH 'DULUX MACDONNELL RANGES R98'
⑨	DOWNPIPES, WAREHOUSE GUTTERS, FASCIAS & BARGE COVER - COLORBOND 'MONUMENT'
⑩	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'IRONSTONE'
⑪	PRECAST CONCRETE/ WING WALL - PAINT FINISH TO MATCH COLORBOND 'SURFMIST'
⑫	PRE-FINISHED METAL CLADDING - COLORBOND 'SURFMIST' VERTICAL SPAN

**DEVELOPMENT APPLICATION**

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PROJECT NUMBER: 200226

PROJECT	ESR HORSLEY LOGISTIC PARK
ADDRESS	327-335 BURLEY ROAD HORSLEY PARK NSW
PROJECT NUMBER	200226

Rev	Description	Date
A	Development Application Issue	22.06.20

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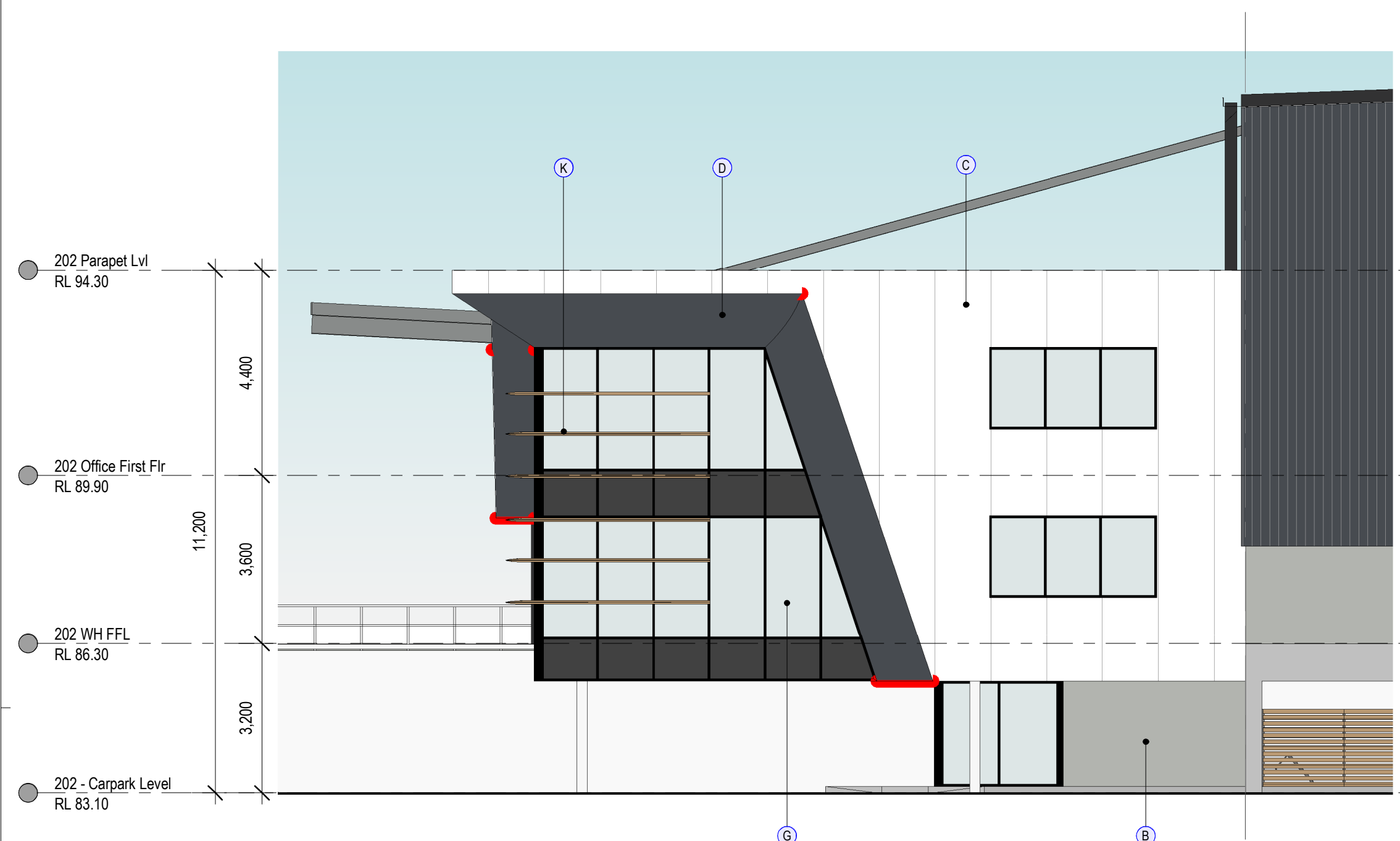
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HL Architects Pty Ltd A.C.N. 161 638 320  
 nominated architect: Koi Hong LAU  
 (Reg No. NSW #1559, QLD #6020, TAS #1101)

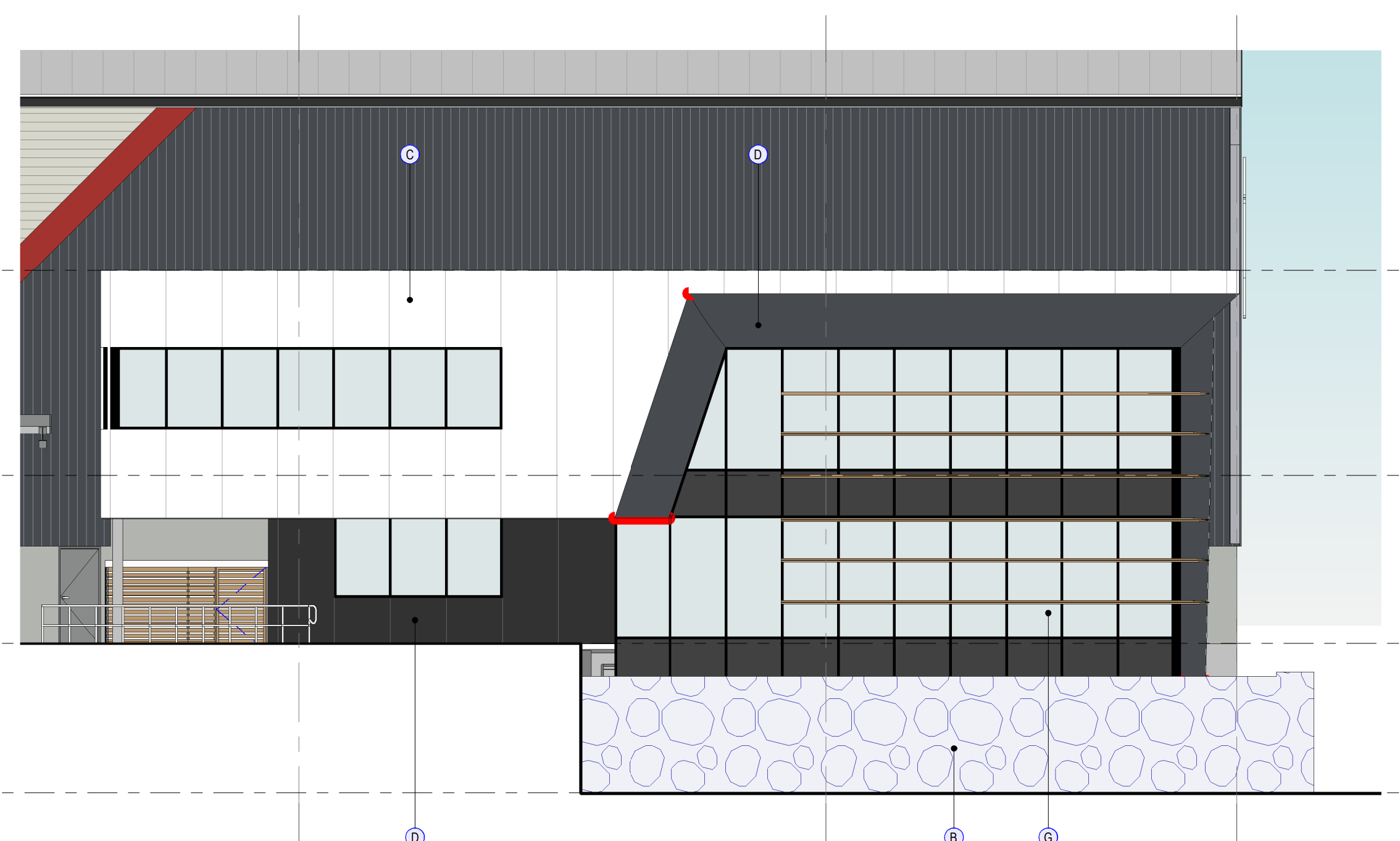
admin@hlarchitects.com.au  
 02 9196 9942  
 0424 160 365  
 www.hlarchitects.com.au  
 Suite 51, 9 George St, North Strathfield NSW 2137



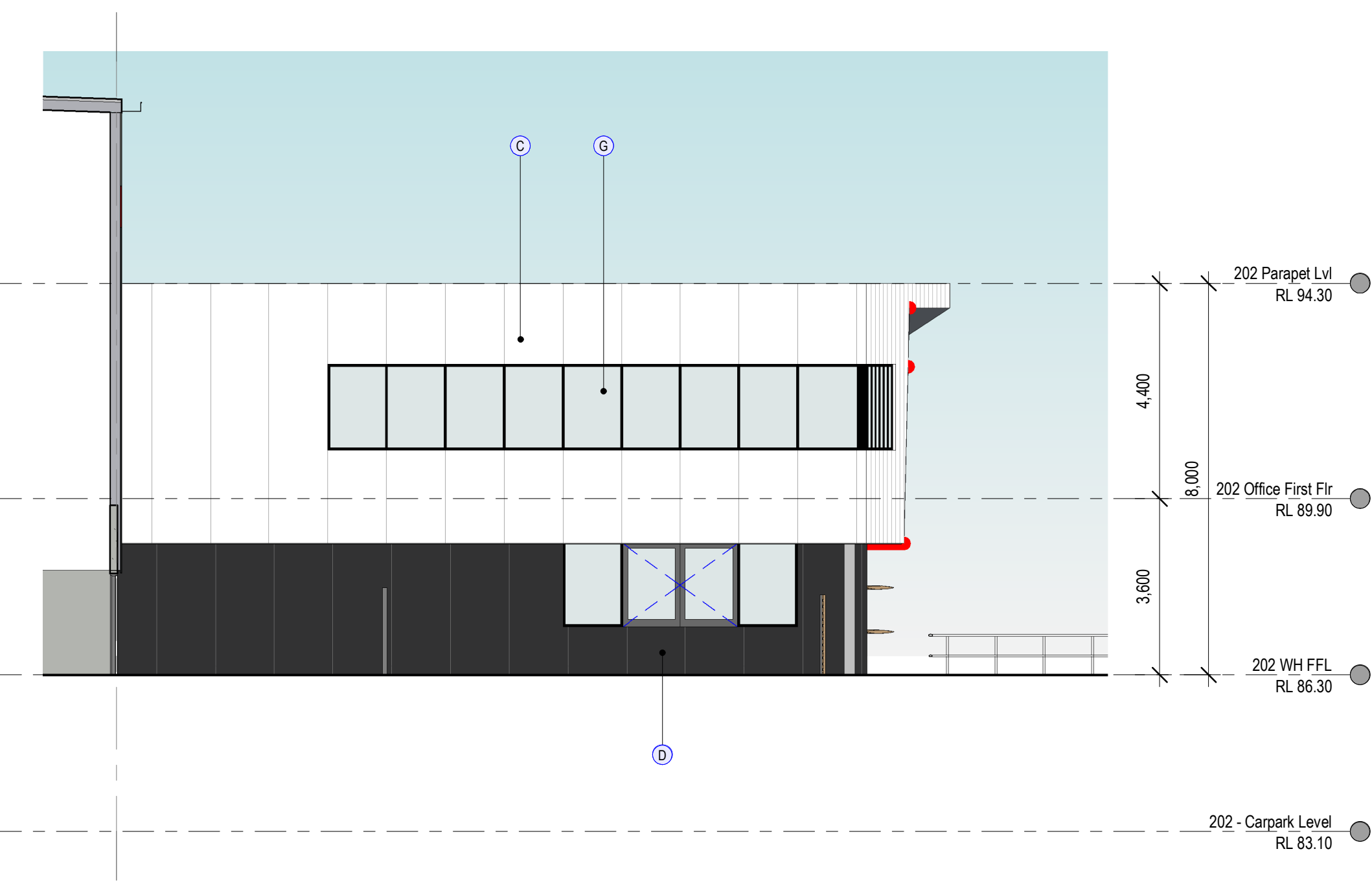
DRAWING TITLE	LOT 202 WAREHOUSE ELEVATIONS
DRAWING NUMBER	200226 - DA - 202-A200
ISSUE	A



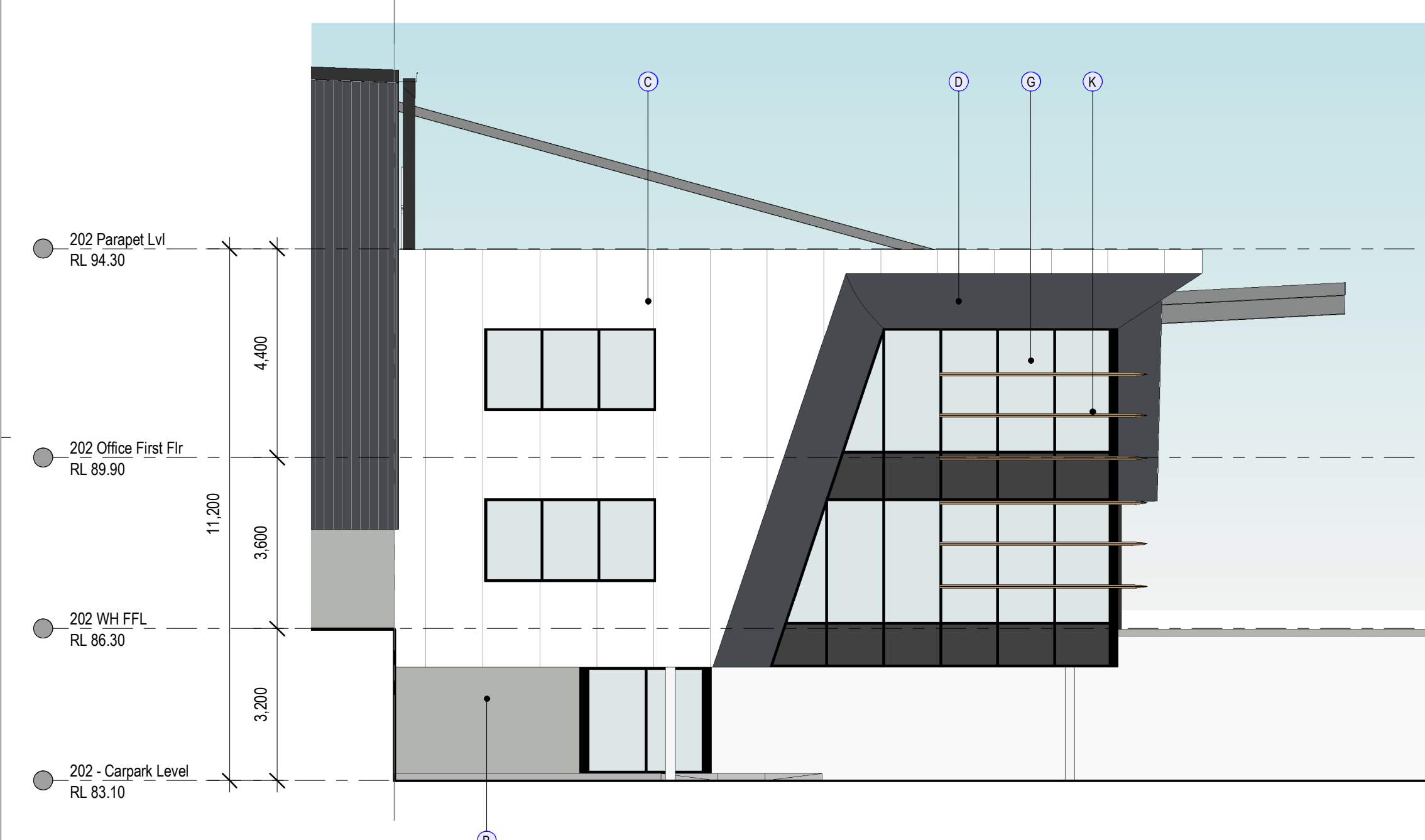
**1 LOT 202 OFFICE A WEST ELEVATION**  
202-A200 1:100 @B1



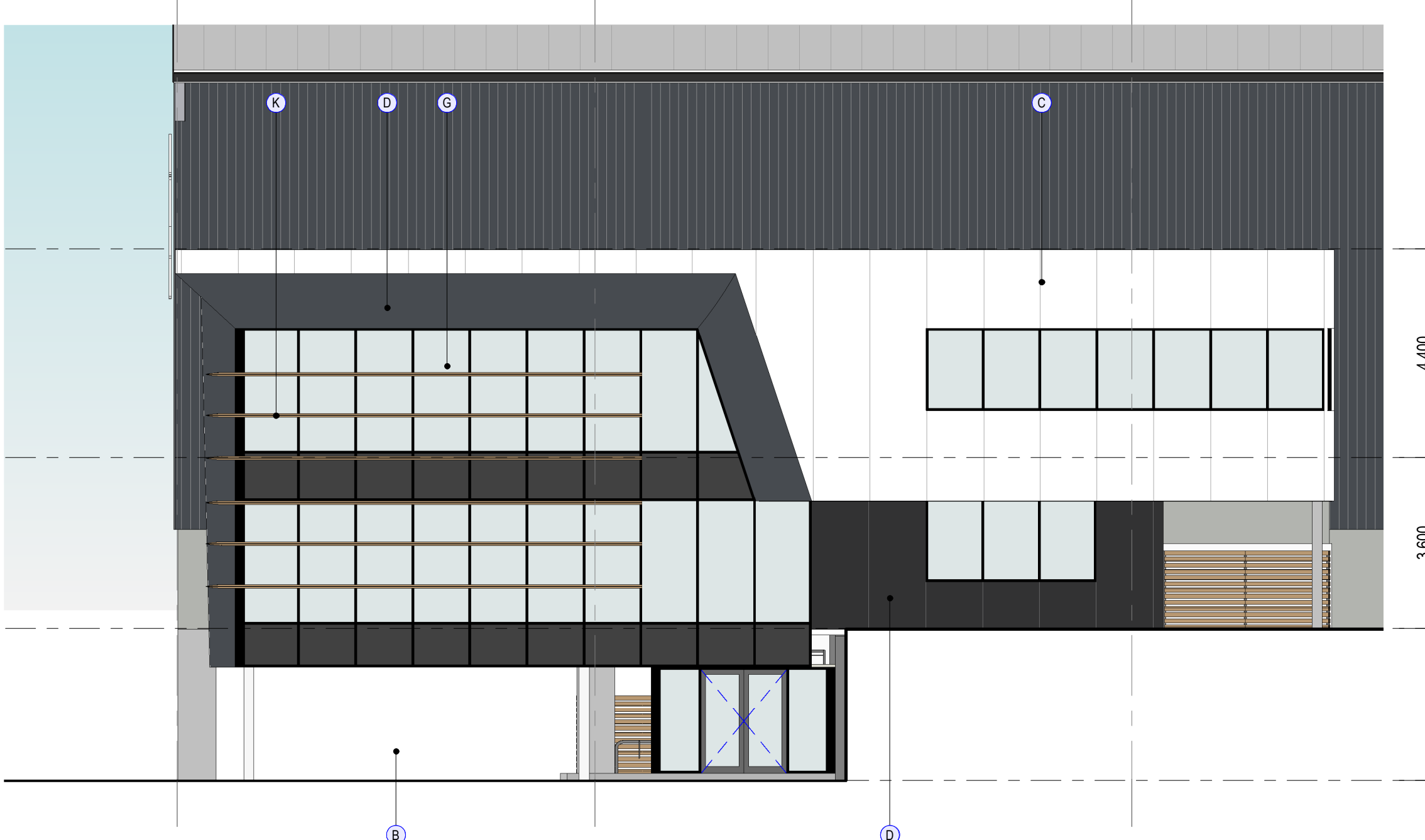
**2 LOT 202 OFFICE A NORTH ELEVATION**  
202-A200 1:100 @B1



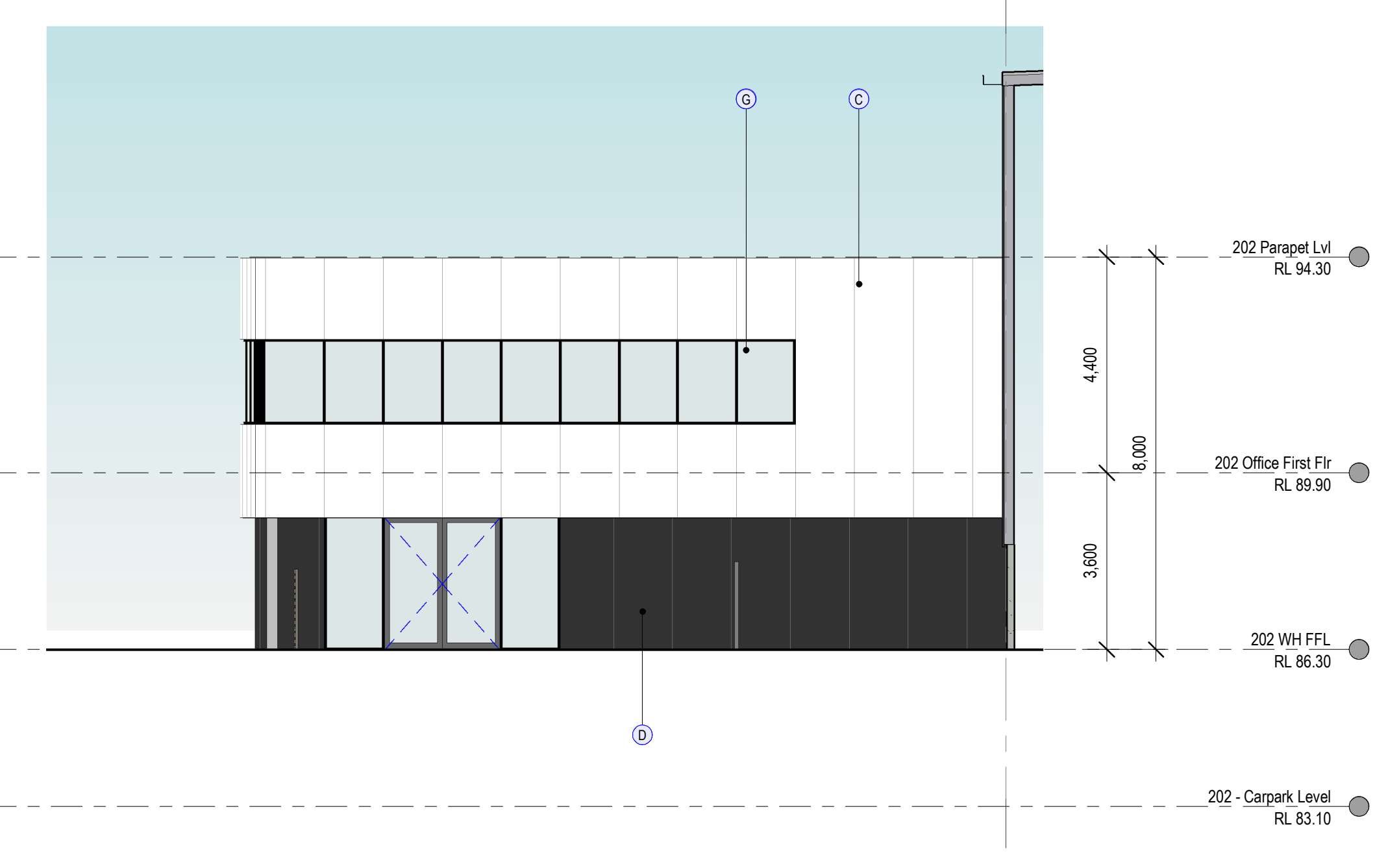
**3 LOT 202 OFFICE B EAST ELEVATION**  
202-A110 1:100 @B1



**4 LOT 202 OFFICE B NORTHWEST ELEVATION**  
202-A200 1:100 @B1



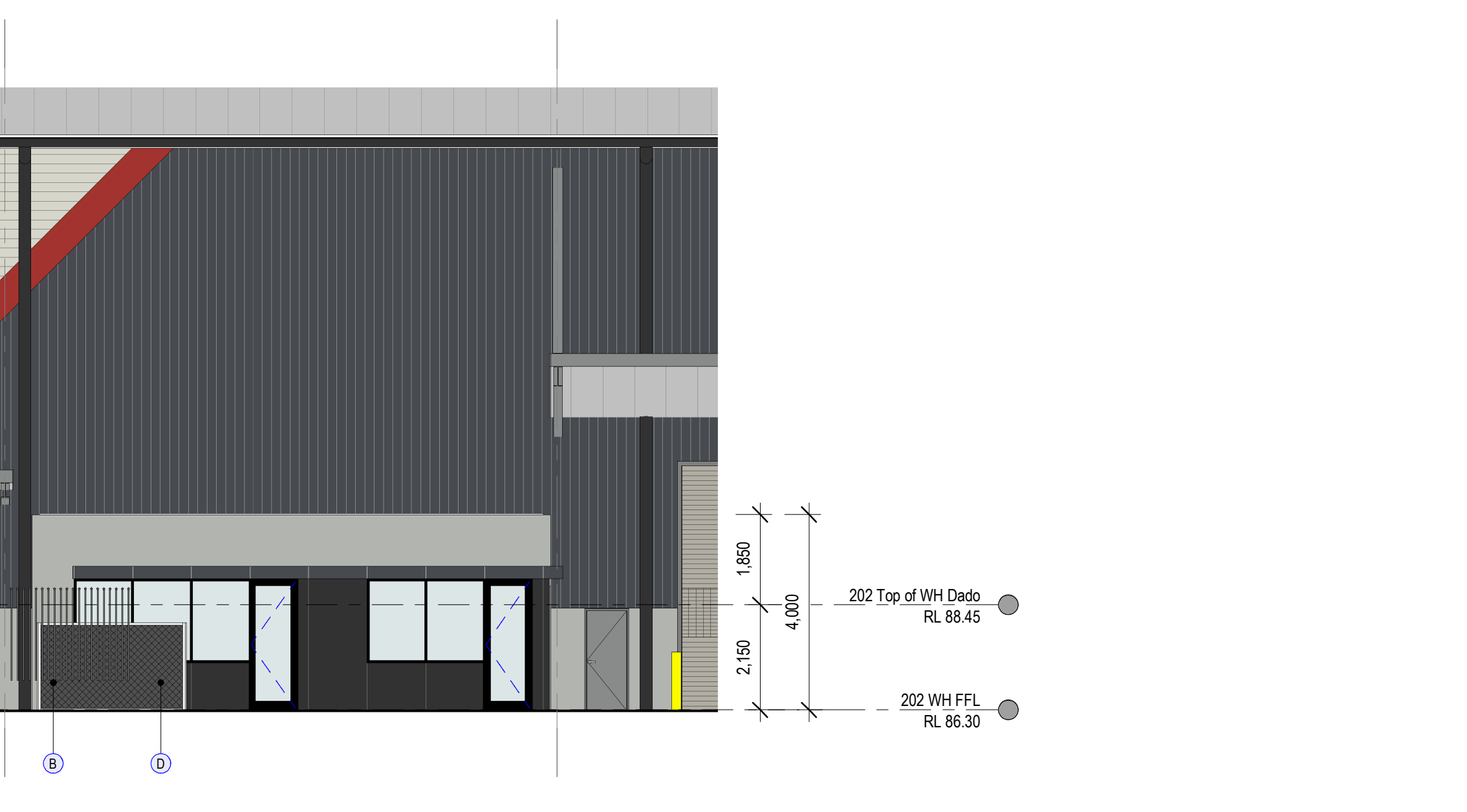
**5 LOT 202 OFFICE B SOUTHWEST ELEVATION**  
202-A200 1:100 @B1



**6 LOT 202 OFFICE B SOUTHEAST ELEVATION**  
202-A111 1:100 @B1



**7 Warehouse 202 Dock Office A**  
202-A200 1:100 @B1



**8 Warehouse 202 Dock Office B**  
202-A200 1:100 @B1

OFFICE EXTERNAL FINISHES	
(A)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB IRONSTONE'
(B)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB SHALE GREY'
(C)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'VIVID WHITE'
(D)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'CB IRONSTONE'
(E)	PRE-FINISHED PANELISED LIGHT WEIGHT CLADDING FINISHES TO SIMULATE TIMBER FINISHES
(F)	ALUMINIUM FEATURE: SUNSHADING POWDERCOATED FINISH COLOUR TO MATCH CITI SILVER PEARL
(G)	POWDERCOATED ALUMINIUM FRAMED GLAZING TO COMPLY WITH NCC SECTION J
(H)	HORIZONTAL FEATURE SLAT SCREEN ON PAINTED COMPRESSED FIBRE CEMENT CLAD WALL - COLOUR TO MATCH KNOTWOOD
(I)	HORIZONTAL SLAT SCREEN FENCING TO OUTDOOR AREA - COLOUR TO MATCH KNOTWOOD
(J)	PERFORATED ALUMINIUM PANEL SCREENING, POWDER COATED FINISH TO MATCH ZEUS GREY & ZEUS MONUMENT
(K)	PROPRIETARY HORIZONTAL/VERTICAL L CLAUVE SUNSHADING, PRE-FINISHED TO SIMULATE TIMBER FINISH

**DEVELOPMENT APPLICATION**

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PROJECT NUMBER: 200226

PROJECT	ESR HORSLEY LOGISTIC PARK
ADDRESS	327-335 BURLEY ROAD HORSLEY PARK NSW
PROJECT NUMBER	200226

Rev	Description	Date
A	Development Application Issue	22.06.20

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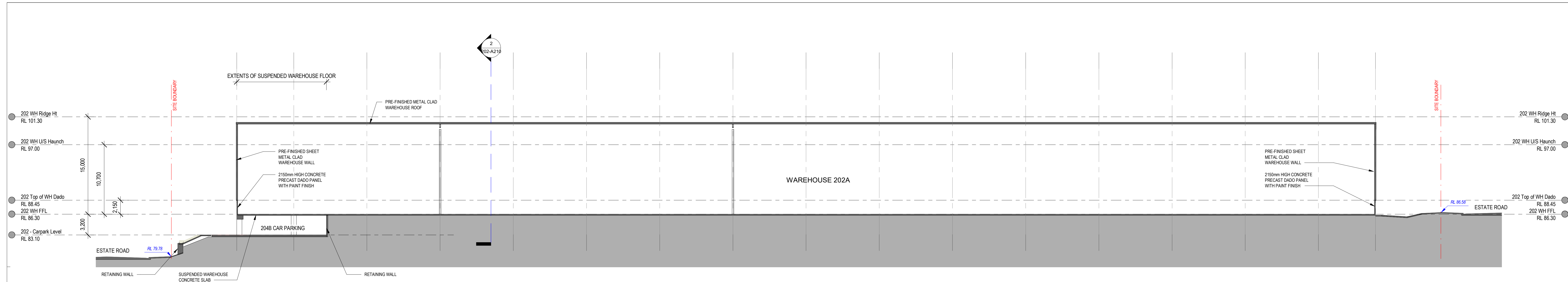
HL Architects Pty Ltd A.C.N. 161 638 320  
 nominated architect: Koi Hong LAM  
 (Reg No. NSW #1559, QLD #6020, TAS #1101)

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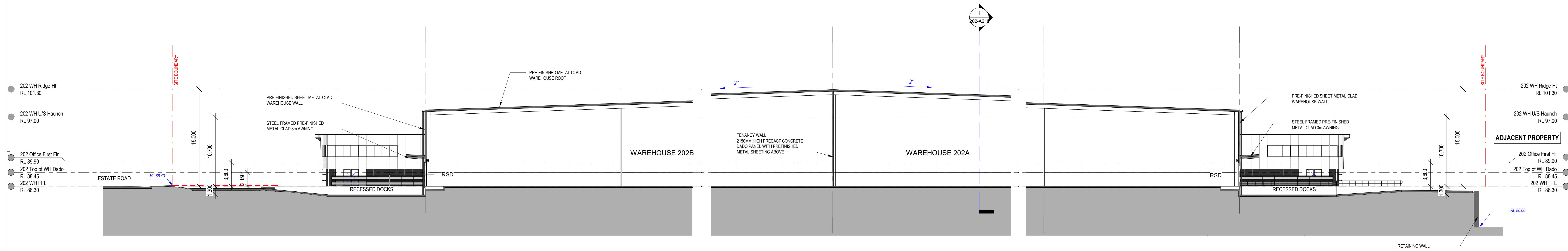


DRAWING TITLE	LOT 202 OFFICE ELEVATIONS	DRAWN	AB
DRAWING NUMBER	200226 - DA - 202-A201	CHK	HL
		ISSUE	1

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**1 Lot 202 Longitudinal Section (Car Parking)**  
202-A100 1:250 @B1



**2 Lot 202 Cross Section (Recessed Dock)**  
202-A100 1:250 @B1



PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
A	Development Application Issue	22.06.20

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nominated architect: KIM HOANG LAU  
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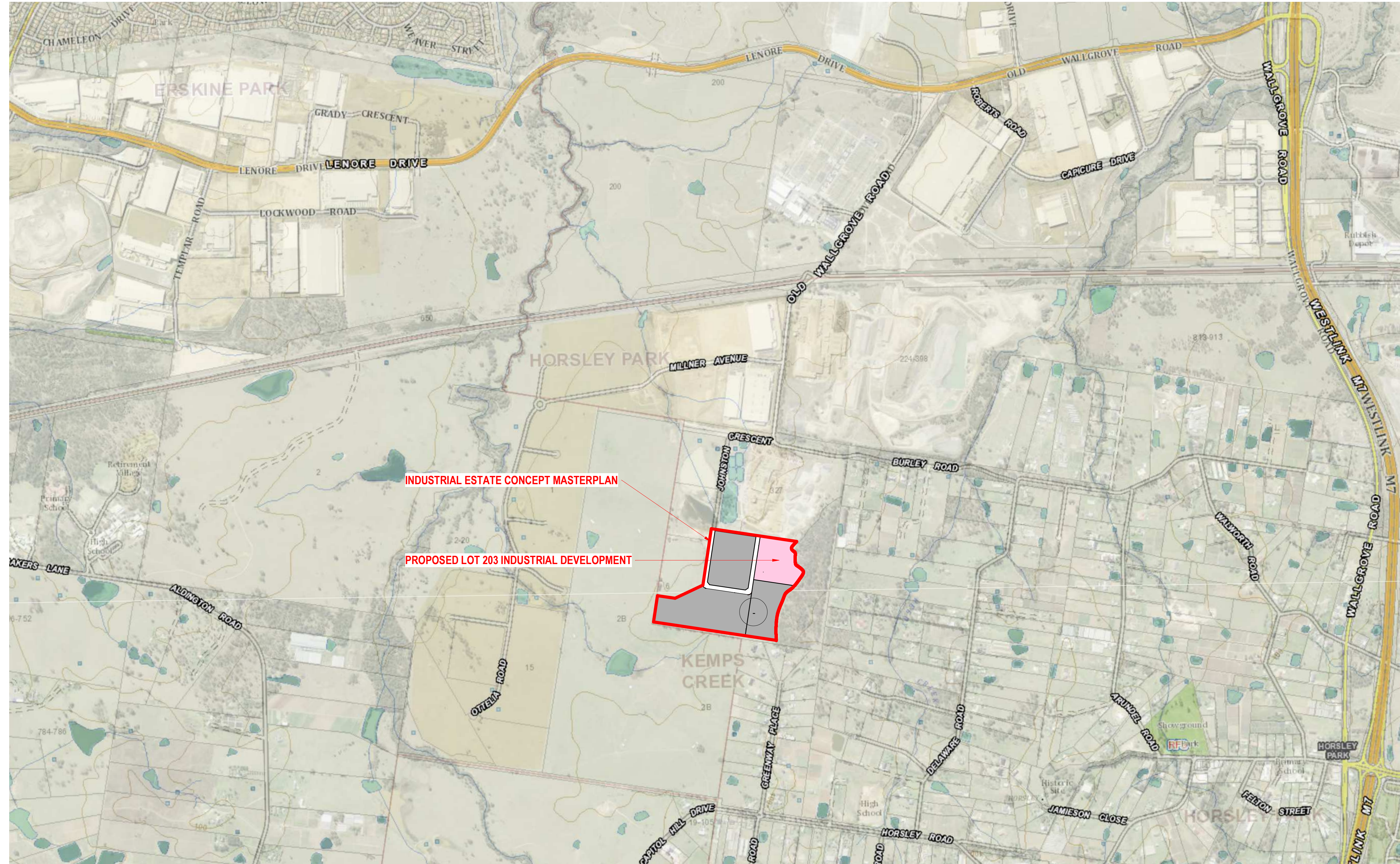
**DEVELOPMENT APPLICATION**

DRAWING TITLE LOT 202 WAREHOUSE SECTIONS  
DRAWING NUMBER 200226 - DA - 202-A210

DRWN AB  
CHK HL  
ISSUE

# PROPOSED INDUSTRIAL ESTATE & WAREHOUSE FACILITY DEVELOPMENT

## Proposed Lot 203 of Lot 103 in DP1214912 of 327-335 Burley Road HORSLEY PARK, NSW 2175



Drg. No.	Sheet Name	Rev
200226-DA-203-A000	LOT 203 TITLE SHEET & DRAWING LIST	B
200226-DA-203-A100	LOT 203 SITE & FACILITY PLAN	B
200226-DA-203-A110	LOT 203 OFFICE PLANS	B
200226-DA-203-A200	LOT 203 WAREHOUSE ELEVATIONS	A
200226-DA-203-A201	LOT 203 OFFICE ELEVATIONS	A
200226-DA-203-A210	LOT 203 WAREHOUSE SECTIONS	A

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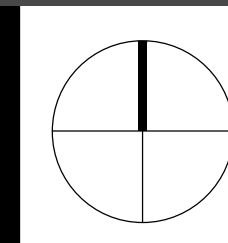
PROJECT NUMBER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

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DEVELOPMENT APPLICATION

DRAWING TITLE LOT 203 TITLE SHEET & DRAWING LIST  
DRAWING NUMBER 200226 - DA - 203-A000

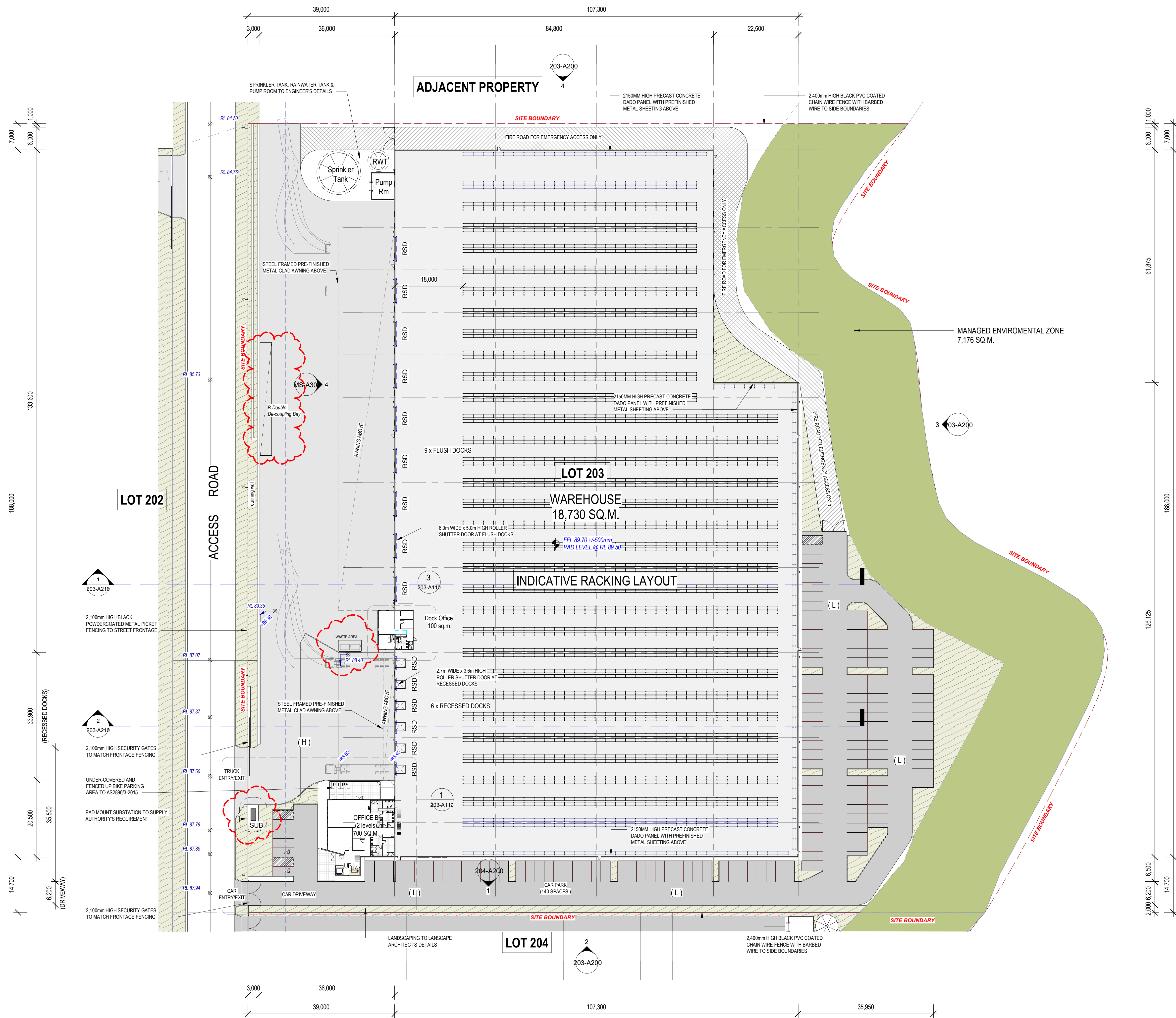
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CHK  
HL  
ISSUE  
B

**DEVELOPMENT SUMMARY (LOT 203)**

SITE AREA (Incl Environmental Zone - 6,464 sqm)	40,295 sqm
EFFICIENCY	48.47 %
WAREHOUSE	18,730 sqm
OFFICE & DOCK OFFICE	800 sqm
TOTAL BUILDING AREA	19,530 sqm
CAR PARKING PROVIDED	140 Spaces
HEAVY DUTY PAVEMENT (H)	6,160 sqm
LIGHT DUTY PAVEMENT (L)	4,120 sqm

**Parking Schedule (Lot 203)**

Type	Description	Count
PK-CP1	PK-CP1-5500 x 2500mm - (Disable)	2
PK-CP2	PK-CP1-5500 x 2500mm - 90 deg	138
Grand total		140



**1 Site Facilities Plan (Lot 203)**

203-A200 1:500 @B1



PROJECT NUMBER

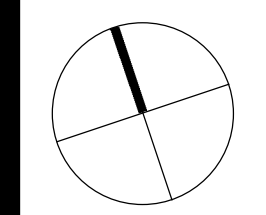
PROJECT ESR HORSLEY LOGISTIC PARK  
 ADDRESS 327-335 BURLEY ROAD  
 HORSLEY PARK NSW  
 PROJECT NUMBER 200226

Rev	Description	Date
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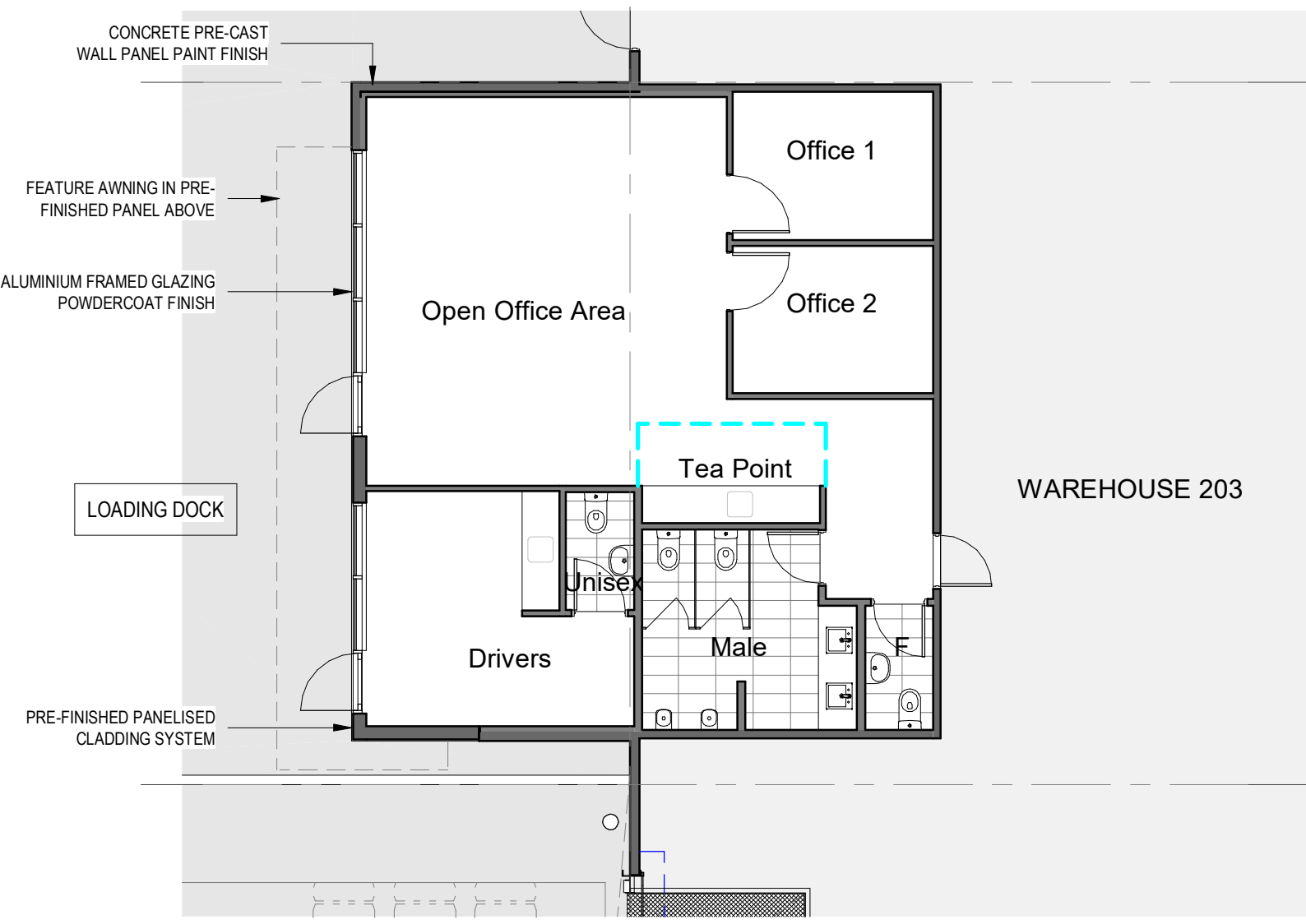
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**LOT 203 SITE & FACILITY PLAN**  
 DRAWING NUMBER  
**200226 - DA - 203-A100**

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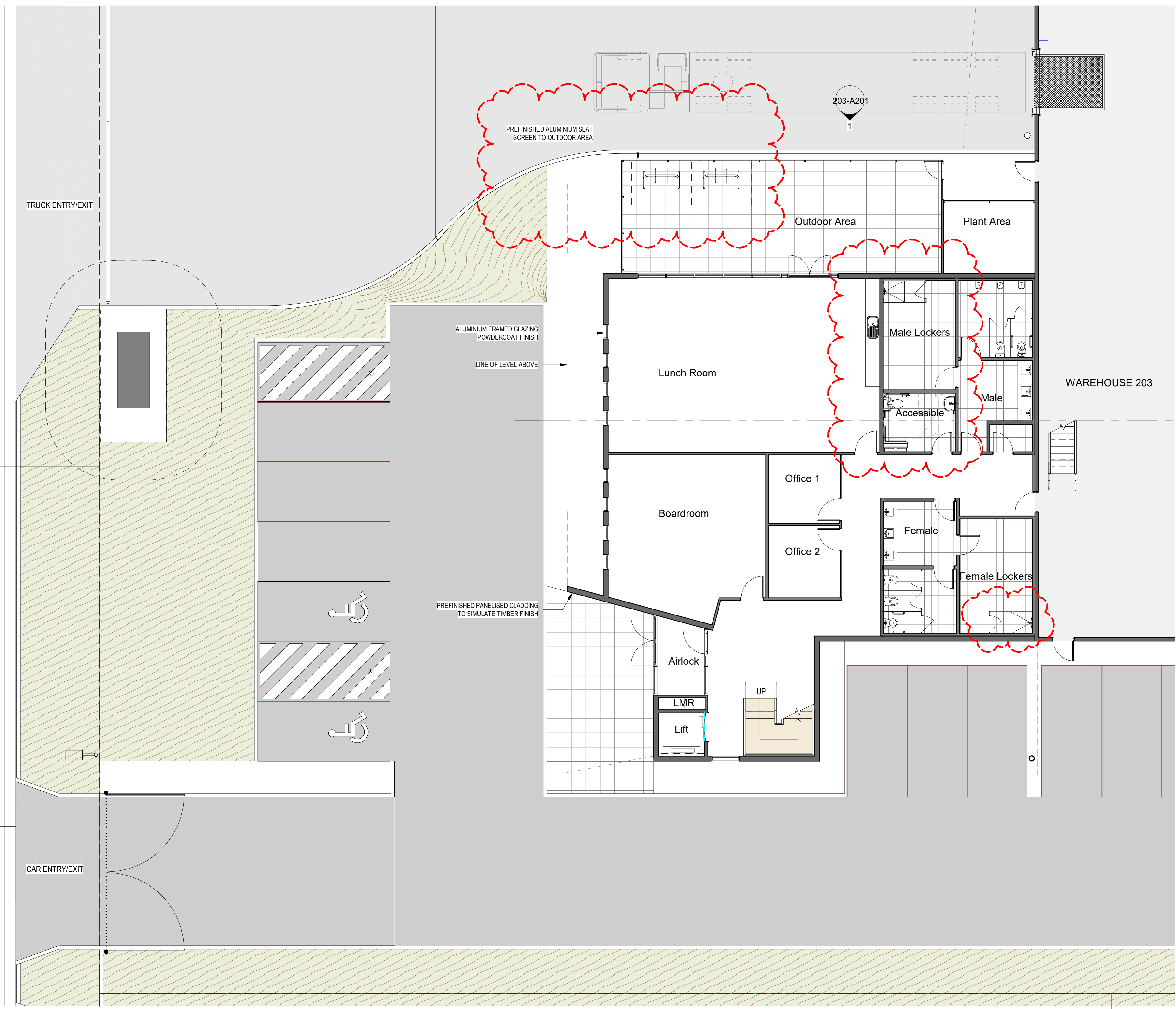
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 ISSUE

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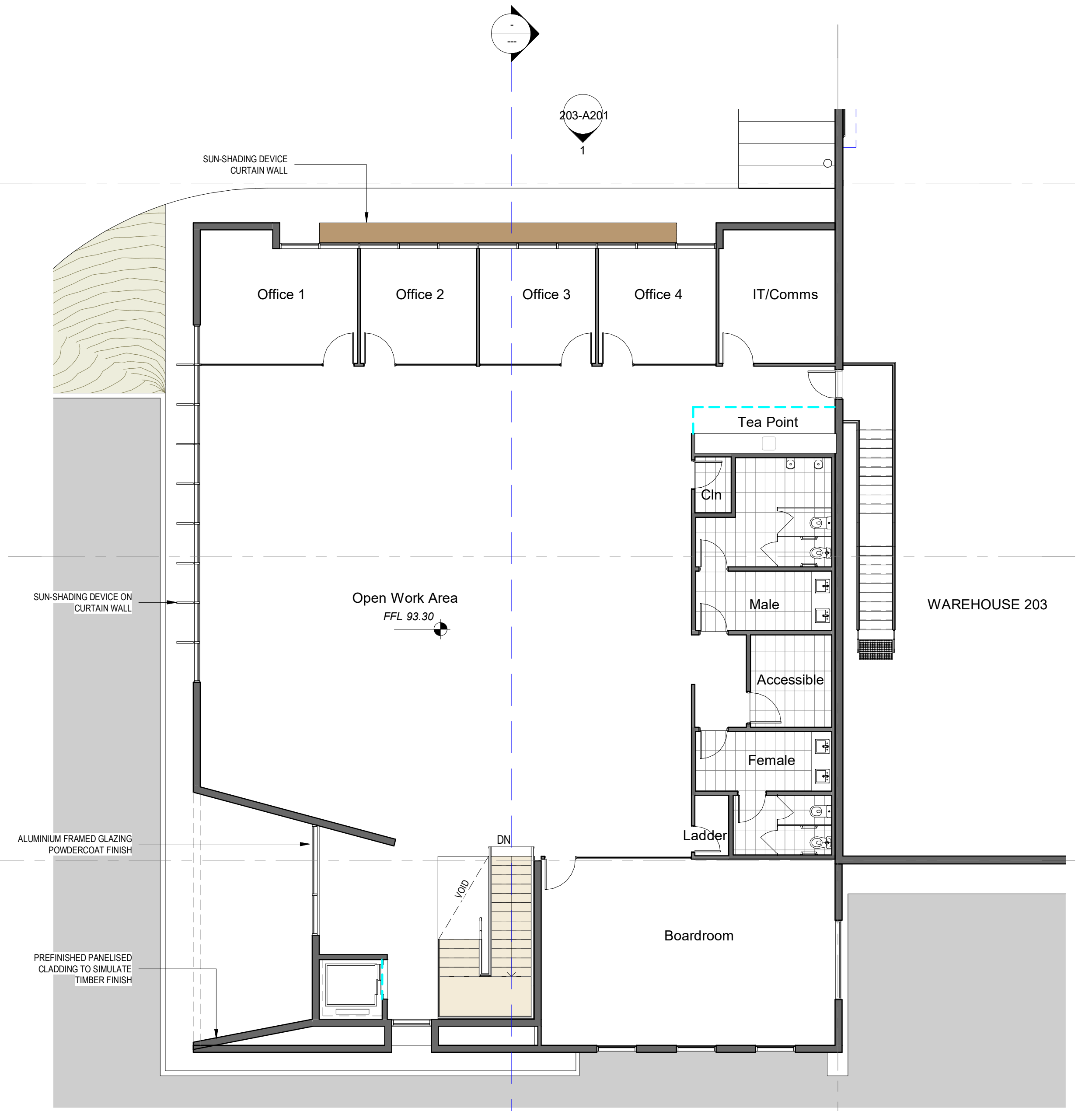




**3 Lot 203 Dock Office Plan**  
203-A100 1:100 @B1



**1 Lot 203 Office Ground Floor Plan**  
203-A100 1:100 @B1



**2 Lot 203 Office First Floor Plan**  
203-A201 1:100 @B1

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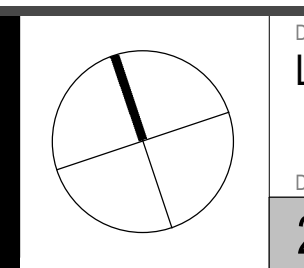
PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
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HORSLEY PARK NSW  
PROJECT NUMBER 200226

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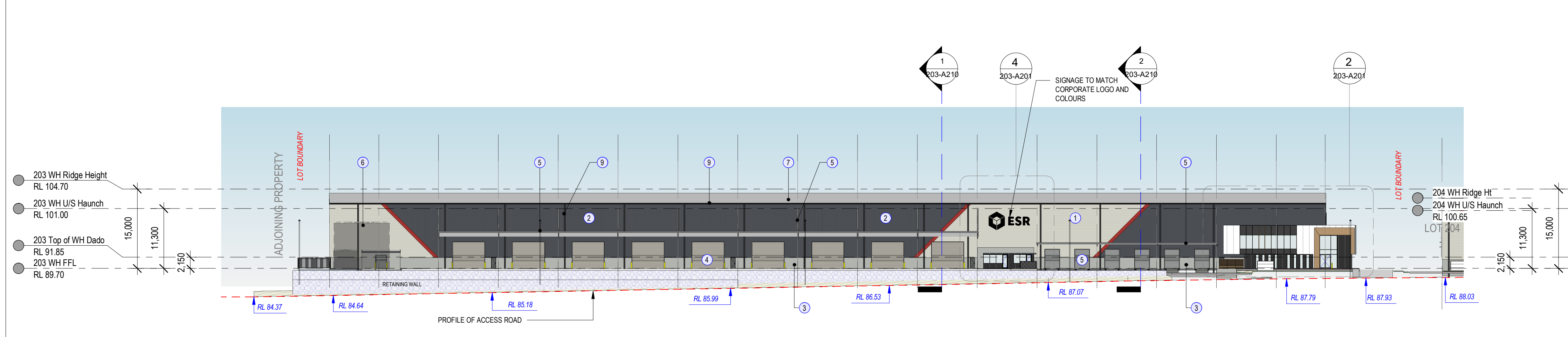
HL Architects Pty Ltd A.C.N. 161 638 320  
nominated architect: KIM HOANG LAU  
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e admin@hlarchitects.com.au  
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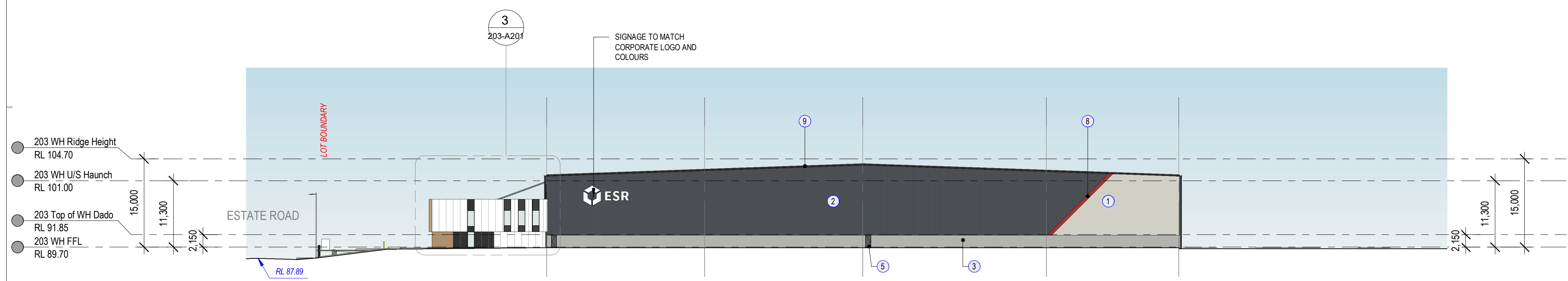
**DEVELOPMENT APPLICATION**

DRAWING TITLE LOT 203 OFFICE PLANS  
DRAWING NUMBER 200226 - DA - 203-A110

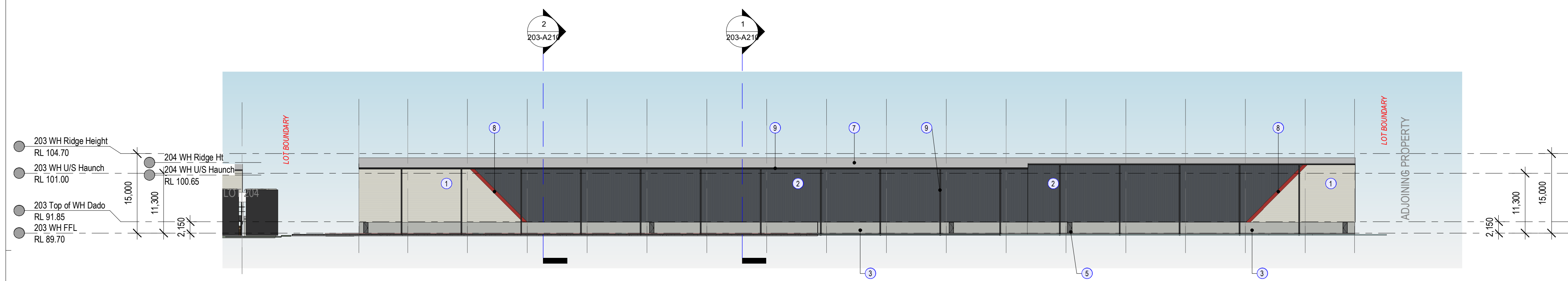
DRAWN MZ  
CHK HL  
ISSUE B



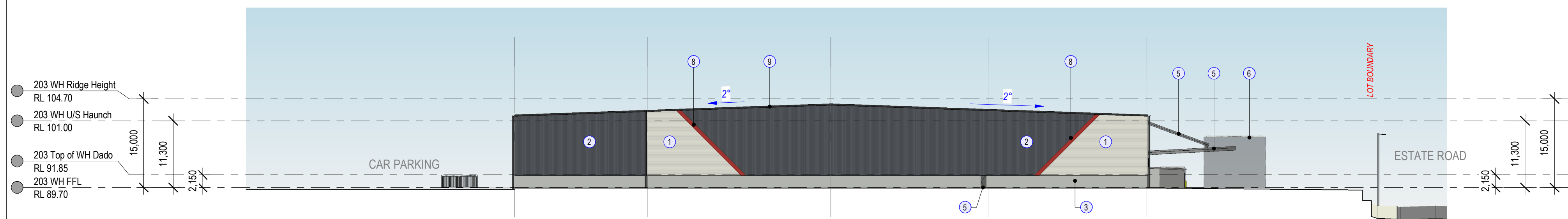
**1 Lot 203 West Elevation (Access Road)**  
MS-A300 1:500 @B1



**2 Lot 203 South Elevation**  
203-A100 1:500 @B1



**3 Lot 203 East Elevation**  
203-A100 1:500 @B1



**4 Lot 203 North Elevation**  
203-A100 1:500 @B1

WAREHOUSE EXTERNAL FINISHES	
①	PRE-FINISHED METAL CLADDING - COLORBOND 'SURFMIST' HORIZONTAL SPAN
②	PRE-FINISHED METAL CLADDING - COLORBOND 'IRONSTONE'
③	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'SHALE GREY'
④	FLUSHED DOCK ROLLER SHUTTER DOOR - PAINT FINISH TO MATCH COLORBOND 'DUNE'
⑤	LOADING DOCK ROLLER SHUTTER DOOR/EGRESS DOOR, AWNING STRUTS - PAINT FINISH TO MATCH COLORBOND 'WINDSPRAY'
⑥	WATER TANKS - COLORBOND 'IRONSTONE'
⑦	ZINC ALUMINE ROOF SHEETING WITH 10% TRANSLUCENT SHEETING
⑧	METAL CLADDING TRIM - COLOUR TO MATCH DULUX MACDONNELL RANGES R98
⑨	DOWNPIPES, WAREHOUSE GUTTERS, FASCIAS & BARGE COVER - COLORBOND 'MONUMENT'
⑩	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'IRONSTONE'
⑪	PRECAST CONCRETE WING WALL - PAINT FINISH TO MATCH COLORBOND 'SURFMIST'
⑫	PRE-FINISHED METAL CLADDING - COLORBOND 'SURFMIST' VERTICAL SPAN

**DEVELOPMENT APPLICATION**

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PROJECT NUMBER: 200226  
PROJECT: ESR HORSLEY LOGISTIC PARK  
ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW

Rev	Description	Date
A	Development Application Issue	22.06.20

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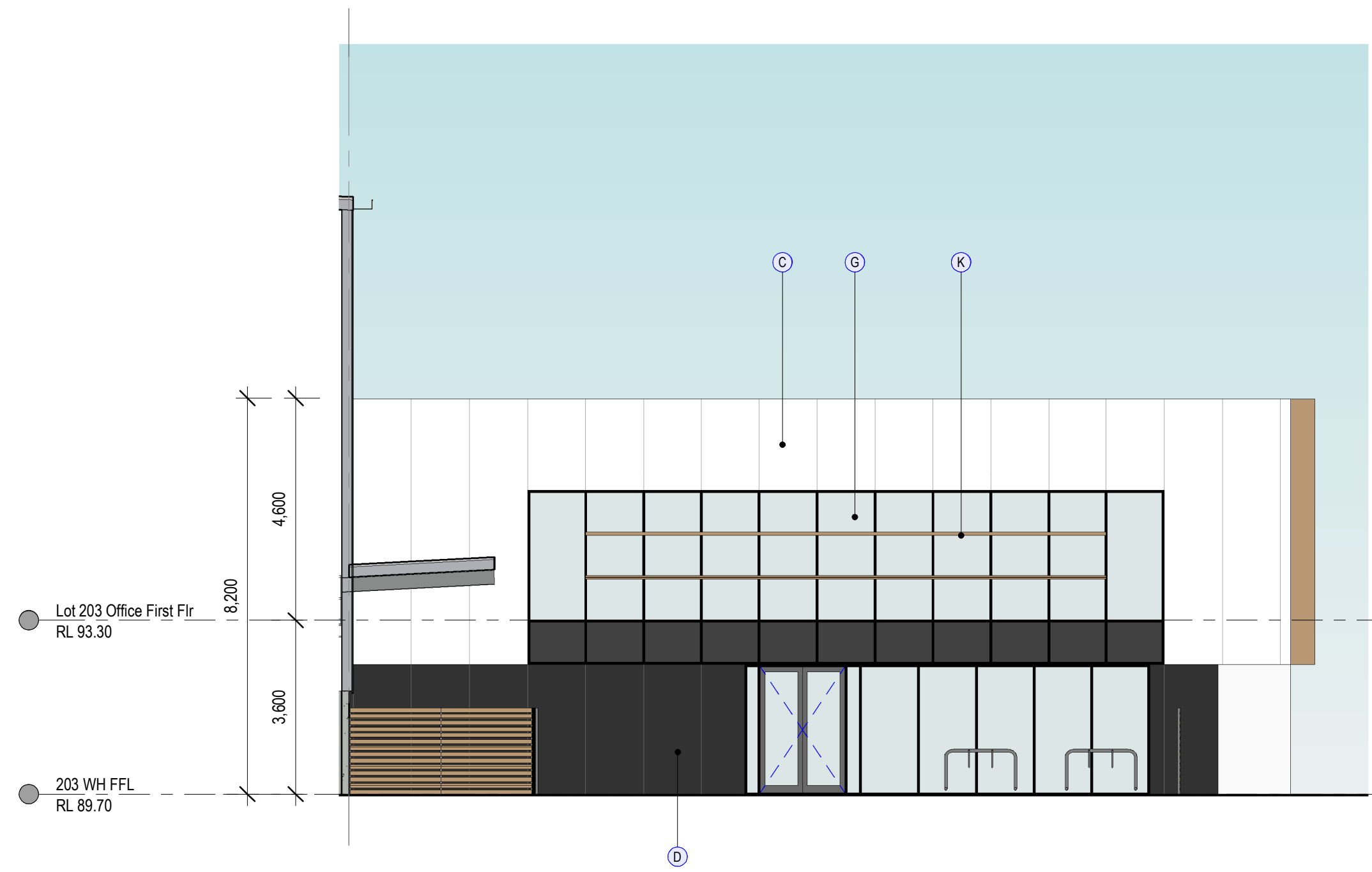
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DRAWING TITLE: LOT 203 WAREHOUSE ELEVATIONS  
 DRAWING NUMBER: 200226 - DA - 203-A200  
 DRAWN: AB  
 CHECKED: HL  
 ISSUE: 1



**1 LOT 203 OFFICE NORTH ELEVATION**  
203-A110 1:100 @B1



**2 LOT 203 OFFICE WEST ELEVATION**  
203-A200 1:100 @B1



**3 LOT 203 OFFICE SOUTH ELEVATION**  
203-A200 1:100 @B1



**4 LOT 203 DOCK OFFICE ELEVATION**  
203-A200 1:100 @B1

OFFICE EXTERNAL FINISHES	
(A)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB IRONSTONE'
(B)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB SHALE GREY'
(C)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'VIVID WHITE'
(D)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'CB IRONSTONE'
(E)	PRE-FINISHED PANELISED LIGHT WEIGHT CLADDING FINISHES TO SIMULATE TIMBER FINISHES
(F)	ALUMINUM FEATURE SUN-SHADING, POWDERCOATED FINISH COLOUR TO MATCH 'CITI SILVER PEARL'
(G)	POWDERCOATED ALUMINUM FRAMED GLAZING TO COMPLY WITH MCC SECTION J
(H)	HORIZONTAL FEATURE SLAT SCREEN ON PAINTED COMPRESSED FIBRE CEMENT CLAD WALL - COLOUR TO MATCH 'KNOTWOOD'
(I)	HORIZONTAL SLAT SCREEN FENCING TO OUTDOOR AREA - COLOUR TO MATCH 'KNOTWOOD'
(J)	PERFORATED ALUMINUM PANEL SCREENING, POWDER COATED FINISH TO MATCH 'ZEUS GREY & ZEUS MONUMENT'
(K)	PROPRIETARY HORIZONTAL/VERTICAL LOUVE SUNSHADING, PRE-FINISHED TO SIMULATE TIMBER FINISH

20/10/2020 12:42:35 PM C:\Users\ahai\Documents\2020\_V2\_Burley\_Rd\_schematic\204\c.rvt



PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
A	Development Application Issue	22.06.20

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**DEVELOPMENT APPLICATION**

DRAWING TITLE LOT 203 OFFICE ELEVATIONS  
DRAWING NUMBER 200226 - DA - 203-A201  
DRAWN AB  
CHK CHK  
HL  
ISSUE A

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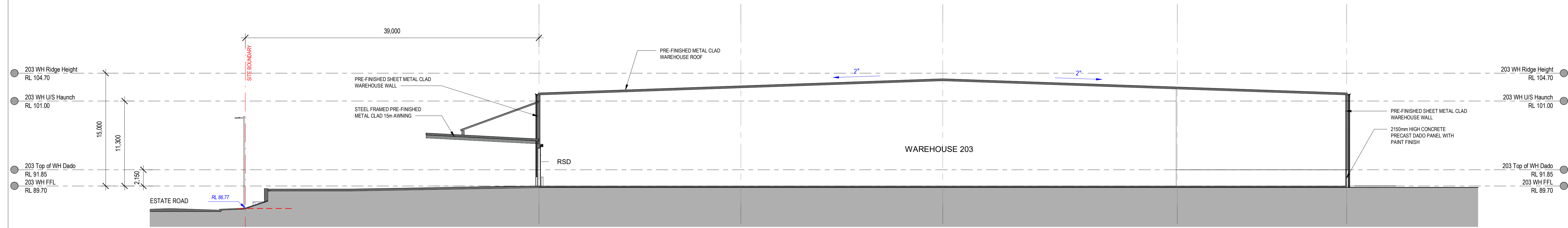


PROJECT NUMBER

200226

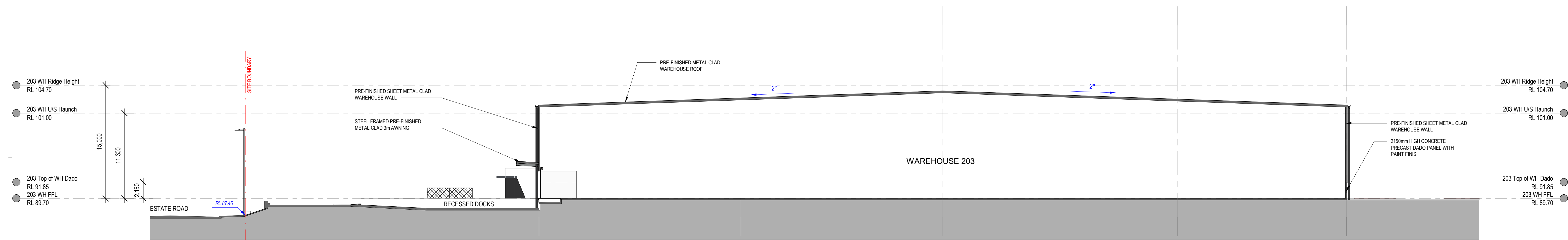
**1 Lot 203 Cross Sections (Flush Docks)**

203-A100 1:250 @B1



**2 Lot 203 Cross Sections (Recessed Docks)**

203-A100 1:250 @B1



**DEVELOPMENT APPLICATION**

PROJECT: ESR HORSLEY LOGISTIC PARK  
 ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
 PROJECT NUMBER: 200226

Rev	Description	Date
A	Development Application Issue	22.06.20

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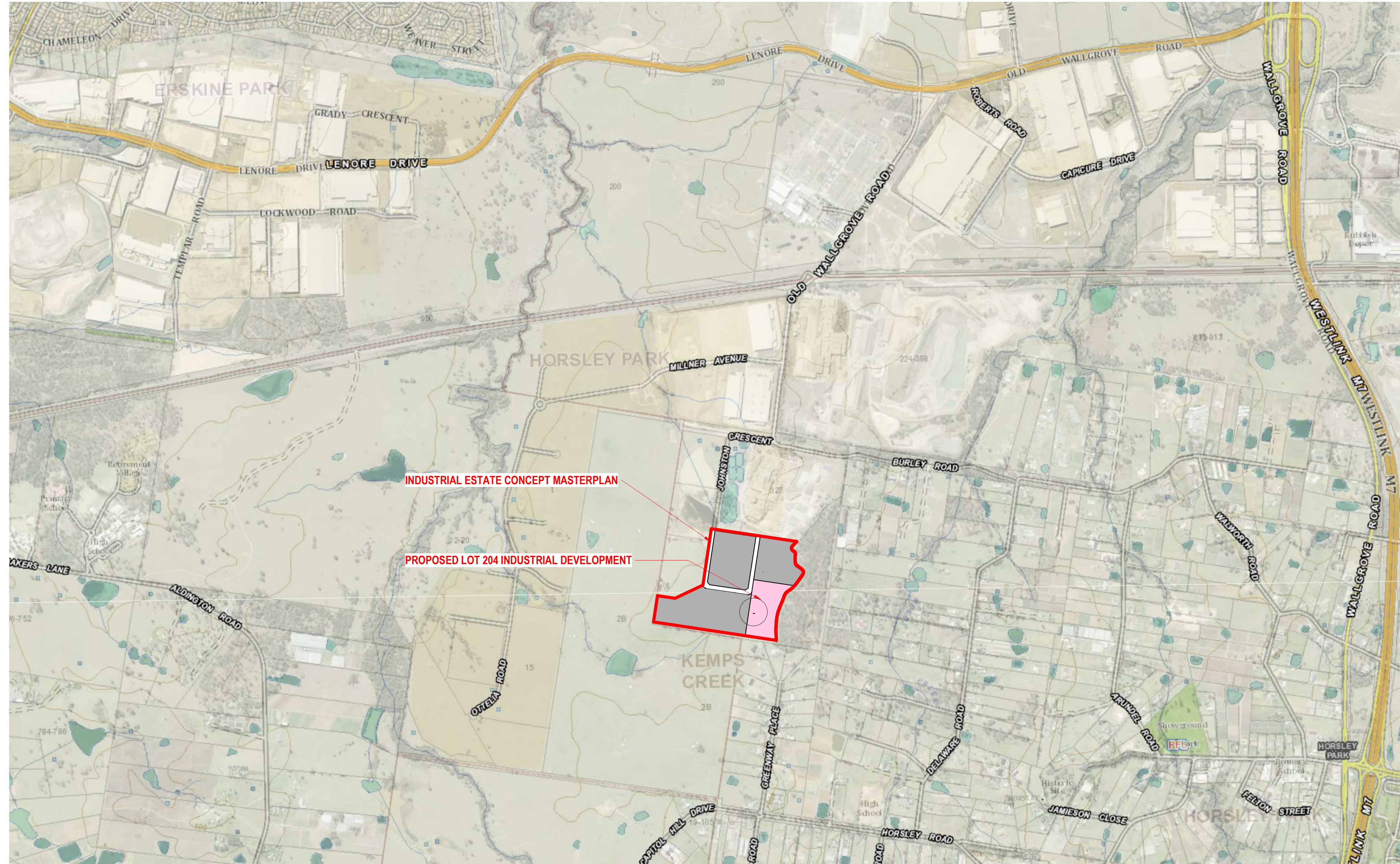


DRAWING TITLE: LOT 203 WAREHOUSE SECTIONS  
 DRAWING NUMBER: 200226 - DA - 203-A210

DRAWN: AB  
 CHK: HL  
 ISSUE: A

# PROPOSED INDUSTRIAL ESTATE & WAREHOUSE FACILITY DEVELOPMENT

## Proposed Lot 204 of Lot 103 in DP1214912 of 327-335 Burley Road HORSLEY PARK, NSW 2175



Drg. No.	Sheet Name	Rev
200226-DA-204-A000	LOT 204 TITLE SHEET & DRAWING LIST	B
200226-DA-204-A100	LOT 204 SITE & FACILITY PLAN	B
200226-DA-204-A110	LOT 204 OFFICE PLANS A & D	B
200226-DA-204-A111	LOT 204 OFFICE PLANS B & C	A
200226-DA-204-A200	LOT 204 WAREHOUSE ELEVATIONS	B
200226-DA-204-A201	LOT 204 OFFICE ELEVATIONS	B
200226-DA-204-A210	LOT 204 WAREHOUSE SECTIONS	B

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PROJECT NUMBER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

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DEVELOPMENT APPLICATION

DRAWING TITLE	LOT 204 TITLE SHEET & DRAWING LIST
DRAWING NUMBER	200226 - DA - 204-A000

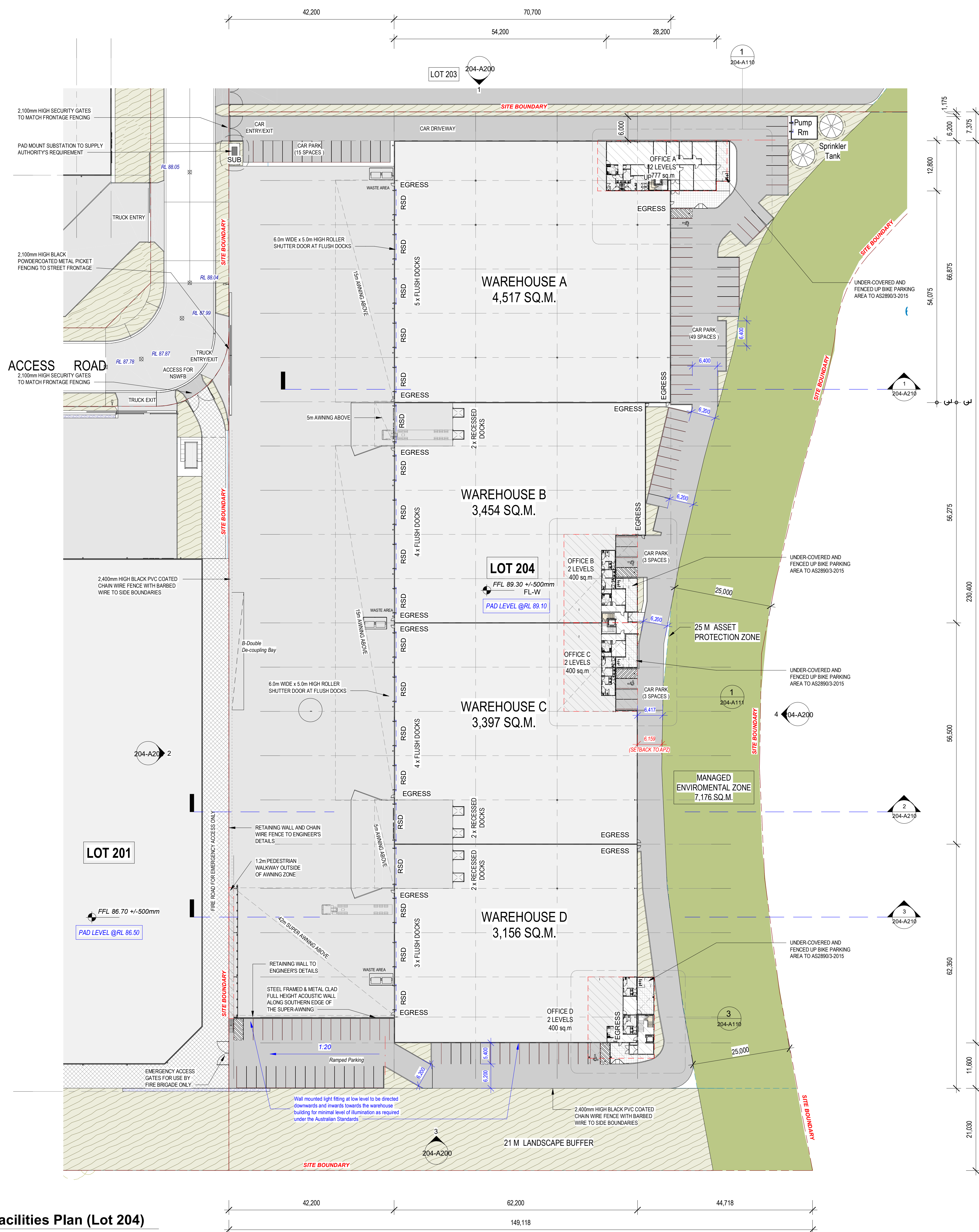
DRWN  
CHK  
HL  
ISSUE

**DEVELOPMENT SUMMARY (LOT 204)**

SITE AREA (APZ included - 7,166 sqm)	40,060 sqm
EFFICIENCY	41.36 %
WAREHOUSE A	4,517 sqm
OFFICE A (2 LEVELS)	777 sqm
WAREHOUSE B	3,454 sqm
OFFICE B (2 LEVELS)	400 sqm
WAREHOUSE C	3,397 sqm
OFFICE C (2 LEVELS)	400 sqm
SHARED LOBBY	78 sqm
WAREHOUSE D	3,156 sqm
OFFICE D (2 LEVELS)	400 sqm
TOTAL BUILDING AREA	16,579 sqm
AWNING (5m)	172sqm
AWNING (15m)	2,215 sqm
AWNING (42m)	1370sqm
CAR PARKING PROVIDED	117 Spaces
HEAVY DUTY PAVEMENT (H)	9,220 sqm
LIGHT DUTY PAVEMENT (L)	4,970 sqm

**Parking Schedule (Lot 204)**

Type	Description	Count
PK-CP1	PK-CP1-5500 x 2500mm - (Disable)	20
PK-CP2	PK-CP2-5500 x 2500mm - 90 deg	95
Grand total		118



**1 Site Facilities Plan (Lot 204)**  
1: 500 @B1

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PROJECT NUMBER  
200226

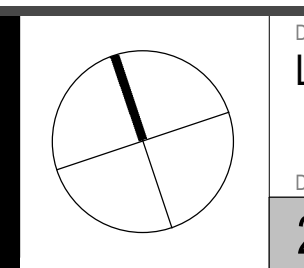
PROJECT  
ESR HORSLEY LOGISTIC PARK  
ADDRESS  
327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER  
200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

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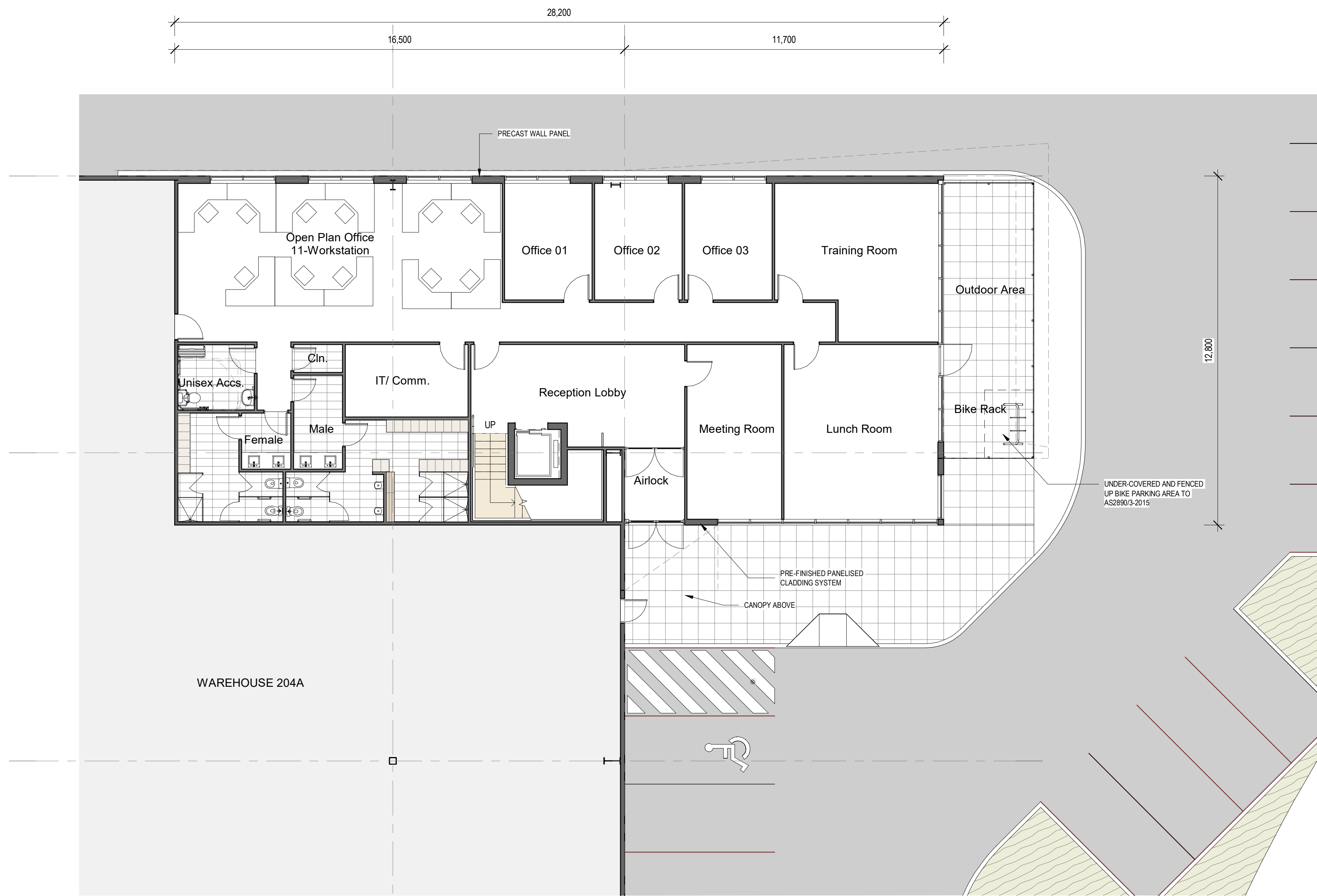
HL Architects Pty Ltd A.C.N. 161 638 320  
nominated architect: KIM HOANG (LAI)  
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DRAWING TITLE  
**LOT 204 SITE & FACILITY PLAN**  
DRAWING NUMBER  
200226 - DA - 204-A100



**DEVELOPMENT APPLICATION**

DRWN  
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HL  
ISSUE



GROUND FLOOR AREA 361 SQ.M.

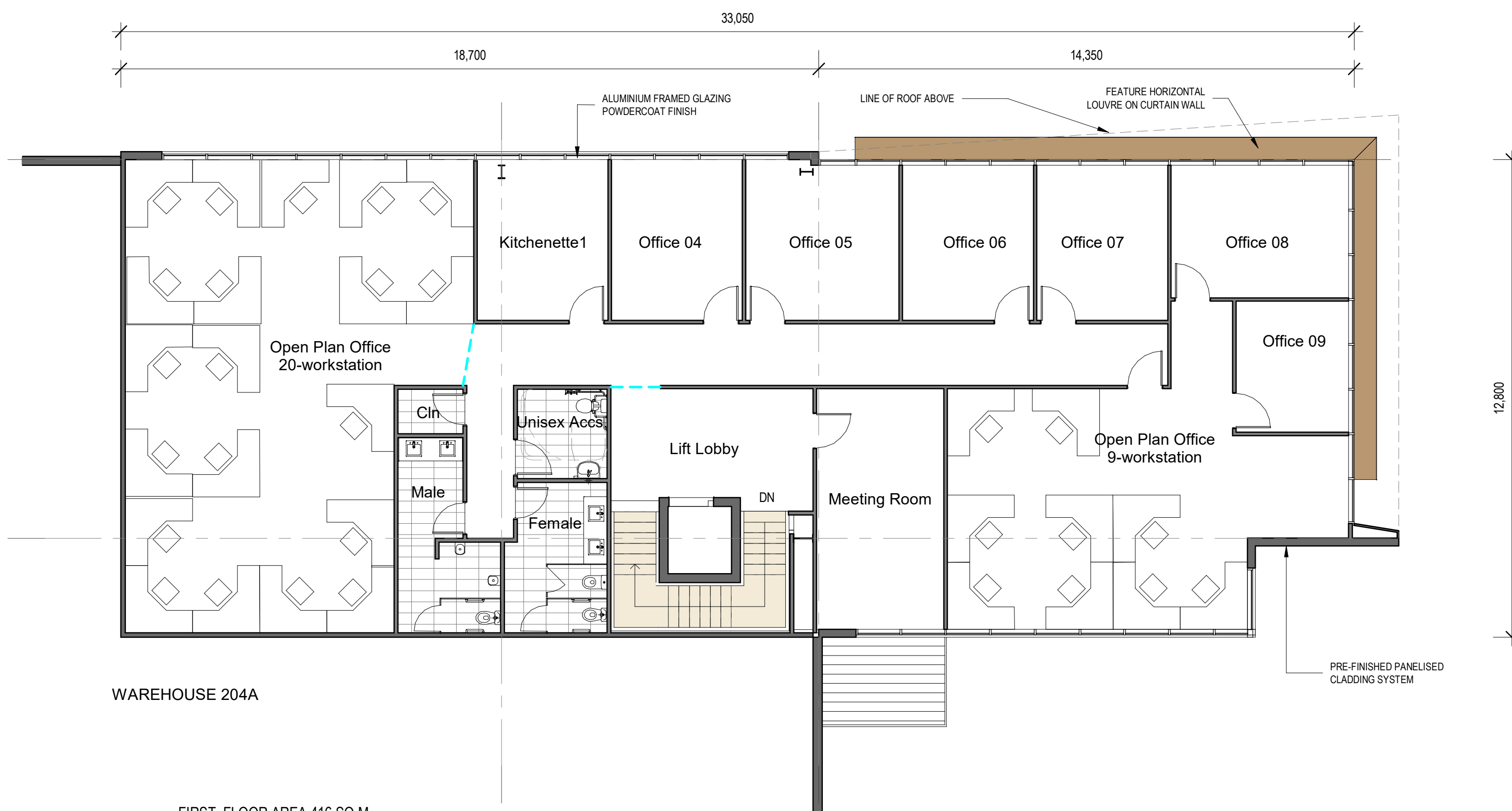
**1 Office Ground Floor (WH 204A)**

204-A100/ 1:100 @B1



**3 Office Ground Floor (WH 204D)**

204-A100/ 1:100 @B1



FIRST FLOOR AREA 416 SQ.M.

**2 Office First Floor (WH 204A)**

204-A201/ 1:100 @B1



**4 Office First Floor (WH 204D)**

204-A201/ 1:100 @B1

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PROJECT NUMBER

PROJECT ESR HORSLEY LOGISTIC PARK  
 ADDRESS 327-335 BURLEY ROAD  
 HORSLEY PARK NSW  
 PROJECT NUMBER 200226

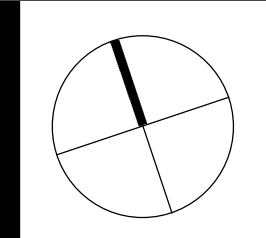
Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

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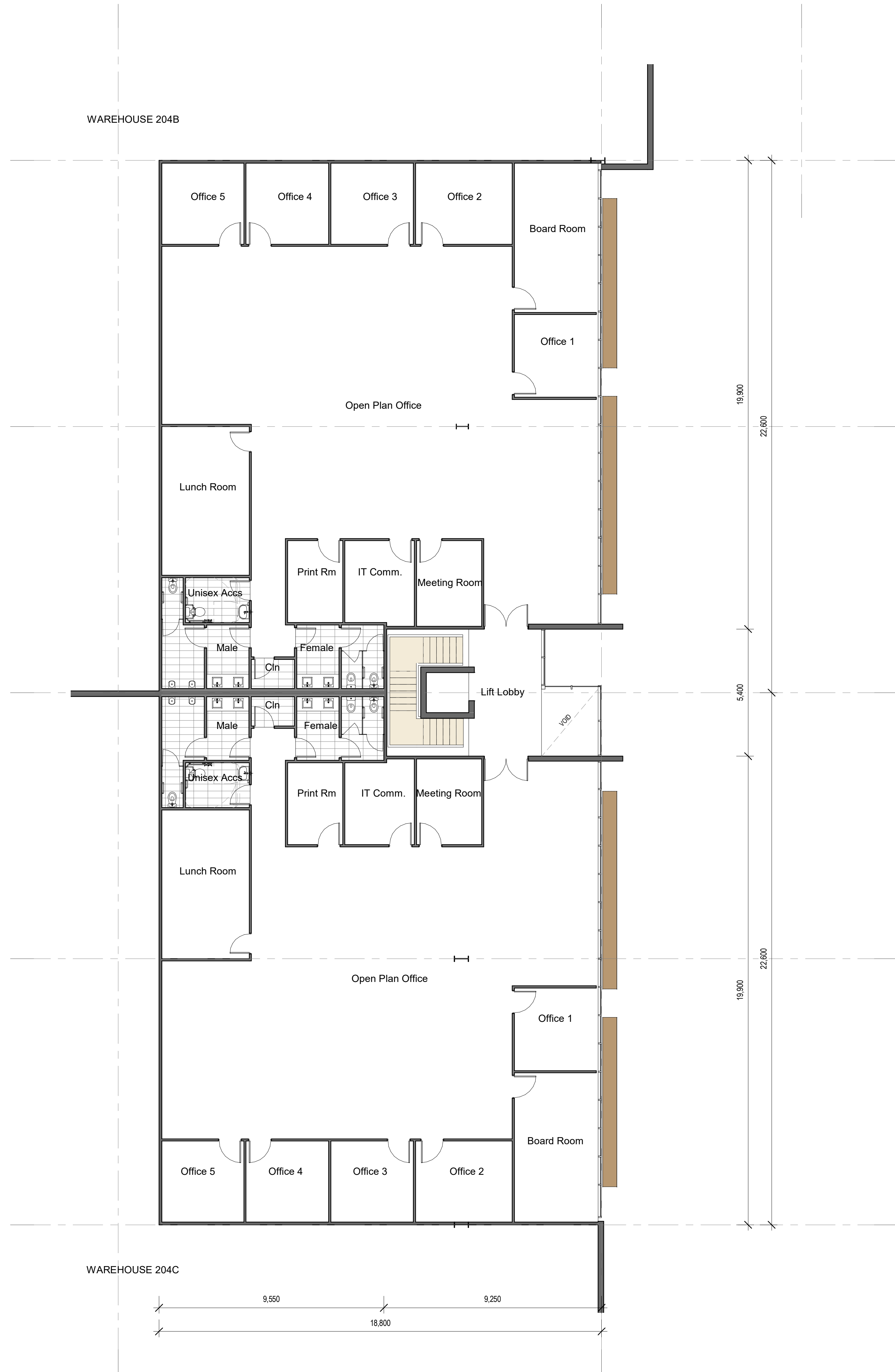


**DEVELOPMENT APPLICATION**

DRAWING TITLE LOT 204 OFFICE PLANS A & D  
 DRAWING NUMBER 200226 - DA - 204-A110  
 DRAWN MZ  
 CHK HL  
 ISSUE B



**1 Office Ground Floor (WH 204 B & C)**  
1: 100 @B1



**2 Office First Floor (WH 204 B & C)**  
1: 100 @B1

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PROJECT NUMBER

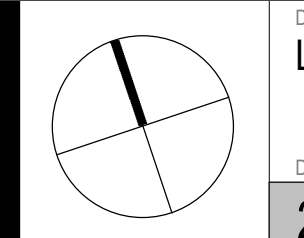
PROJECT 204-A100  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Date	Description
A	20.10.20	Development Application Issue

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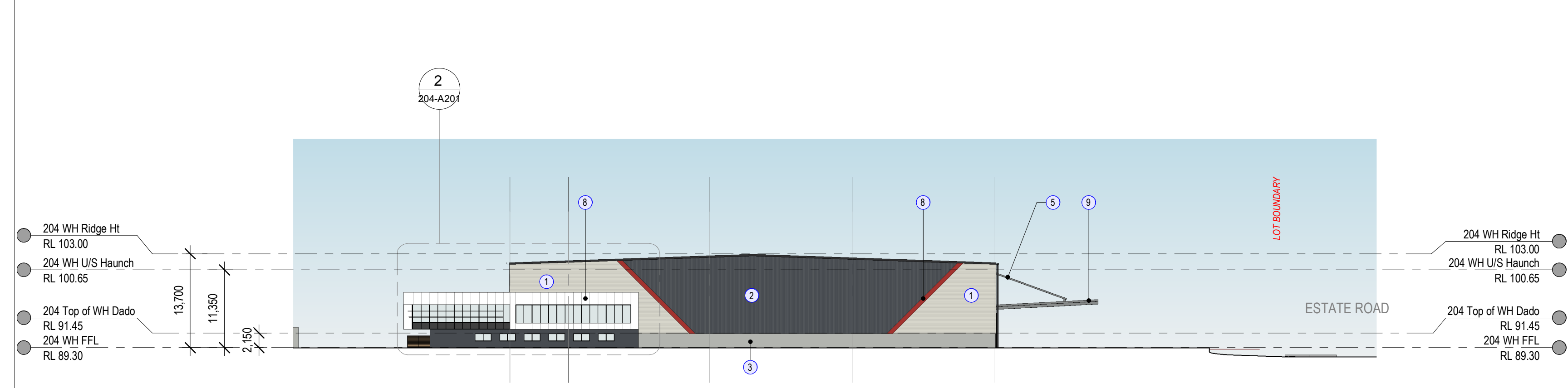


**DEVELOPMENT APPLICATION**

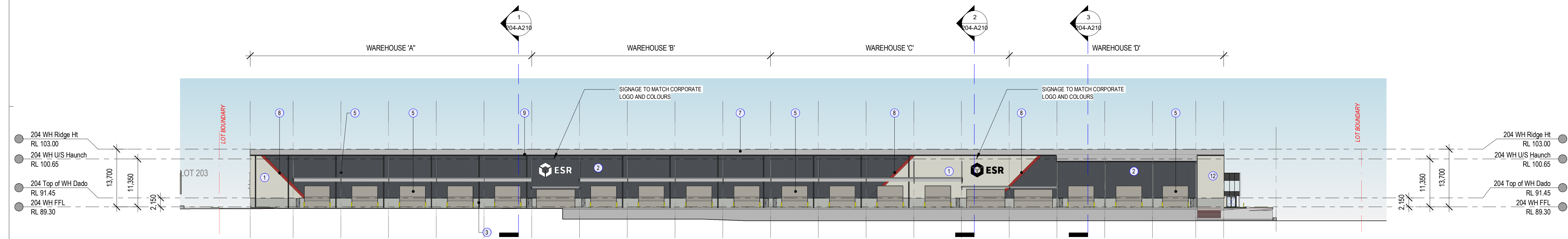
DRAWING TITLE LOT 204 OFFICE PLANS B & C  
DRAWING NUMBER 200226 - DA - 204-A111  
DRAWN AB  
CHK HL  
ISSUE

A

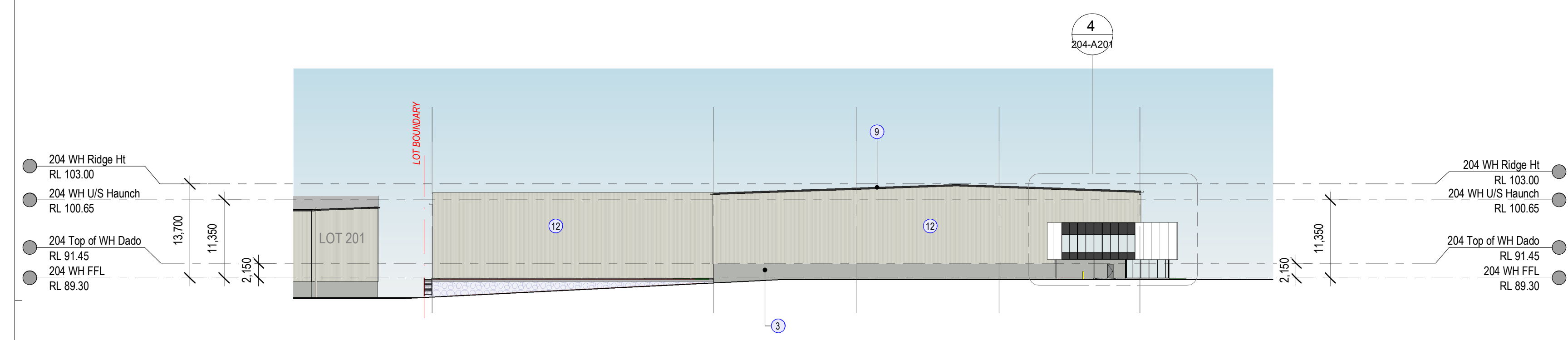




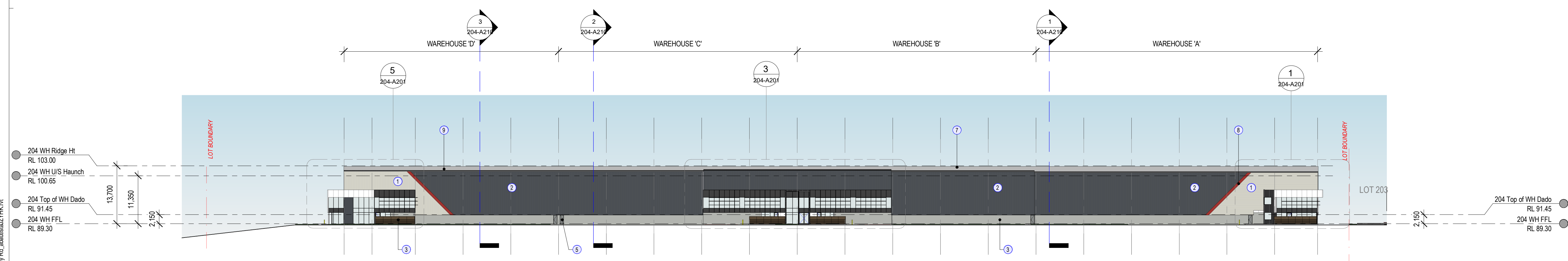
**1 Lot 204 North Elevation (WH A)**  
203-A100 1:500 @B1



**2 Lot 204 Western Elevation (Warehouse A & B)**  
203-A110 1:500 @B1



**3 Lot 204 South Elevation (WH B)**  
201-A100 1:500 @B1



**4 Lot 204 Eastern Elevation (Warehouse A & B)**  
204-A100 1:500 @B1

WAREHOUSE EXTERNAL FINISHES	
①	PRE-FINISHED METAL CLADDING - COLORBOND 'SURFMIST' HORIZONTAL SPAN
②	PRE-FINISHED METAL CLADDING - COLORBOND 'IRONSTONE'
③	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'SHALE GREY'
④	FLUSHED DOCK ROLLER SHUTTER DOOR - PAINT FINISH TO MATCH COLORBOND 'DUNE'
⑤	LOADING DOCK ROLLER SHUTTER DOOR/EGRESS DOOR - AWNING STRUTS - PAINT FINISH TO MATCH COLORBOND 'WINDSPRAY'
⑥	WATER TANKS - COLORBOND 'IRONSTONE'
⑦	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING
⑧	METAL CLADDING TRIM - COLOUR TO MATCH 'DULUX MACDONNELL RANGES R98'
⑨	DOWNPIPES/WAREHOUSE GUTTERS/FASCIAS & BARGE COVER - COLORBOND 'MONUMENT'
⑩	PRECAST CONCRETE - PAINT FINISH TO MATCH COLORBOND 'IRONSTONE'
⑪	PRECAST CONCRETE/ WING WALL - PAINT FINISH TO MATCH COLORBOND 'SURFMIST'
⑫	PRE-FINISHED METAL CLADDING - COLORBOND 'SURFMIST' VERTICAL SPAN

**DEVELOPMENT APPLICATION**



PROJECT BANNER  
PROJECT: ESR HORSLEY LOGISTIC PARK  
ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
PROJECT NUMBER: 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

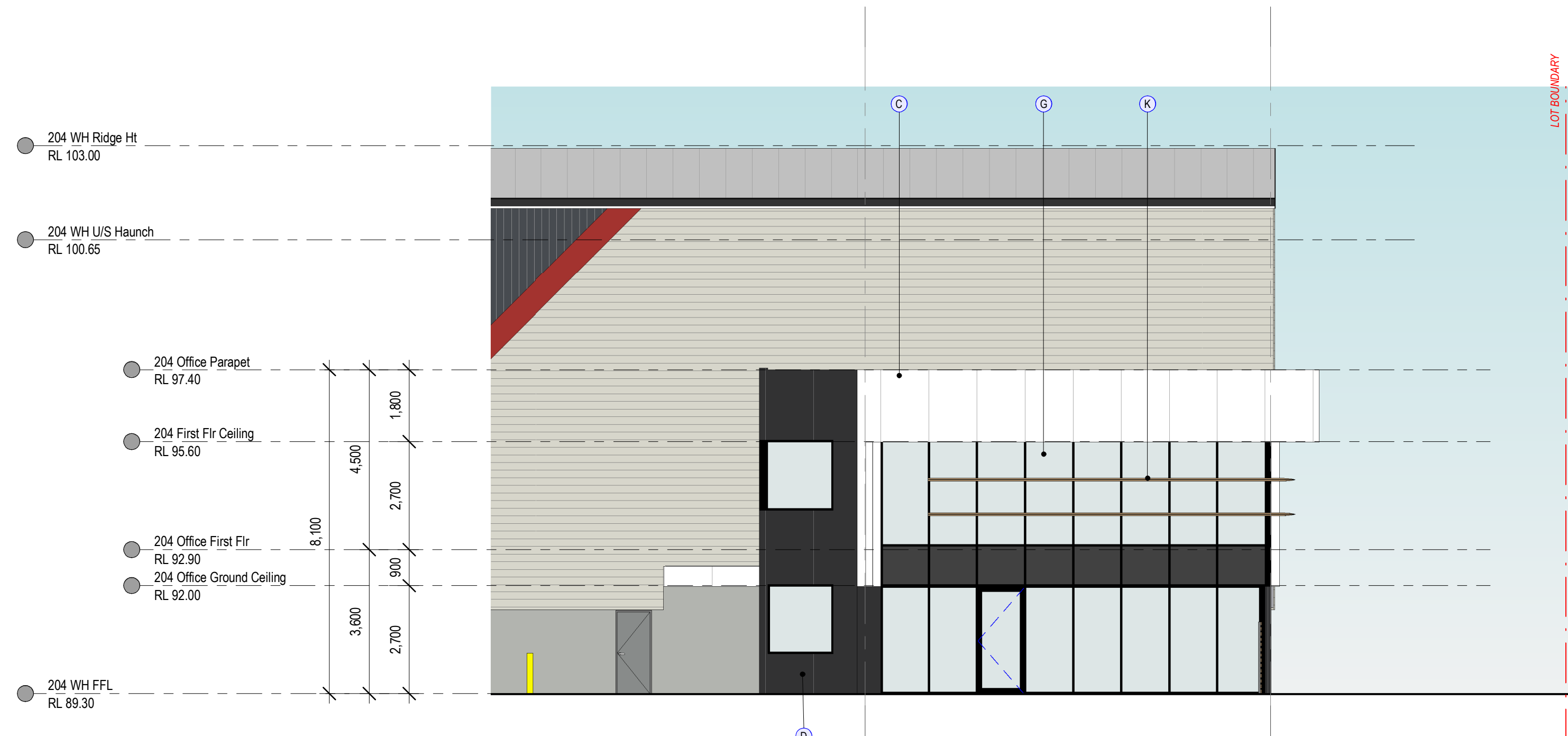
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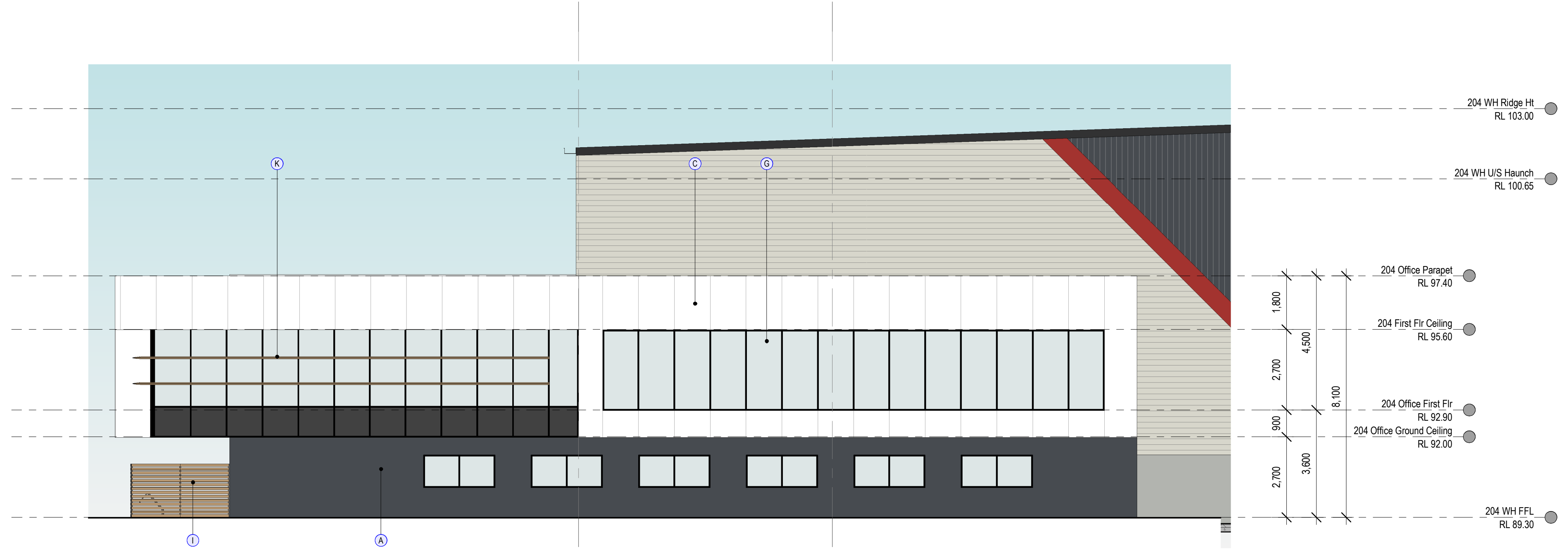
HL Architects Pty Ltd A.C.N. 161 638 320  
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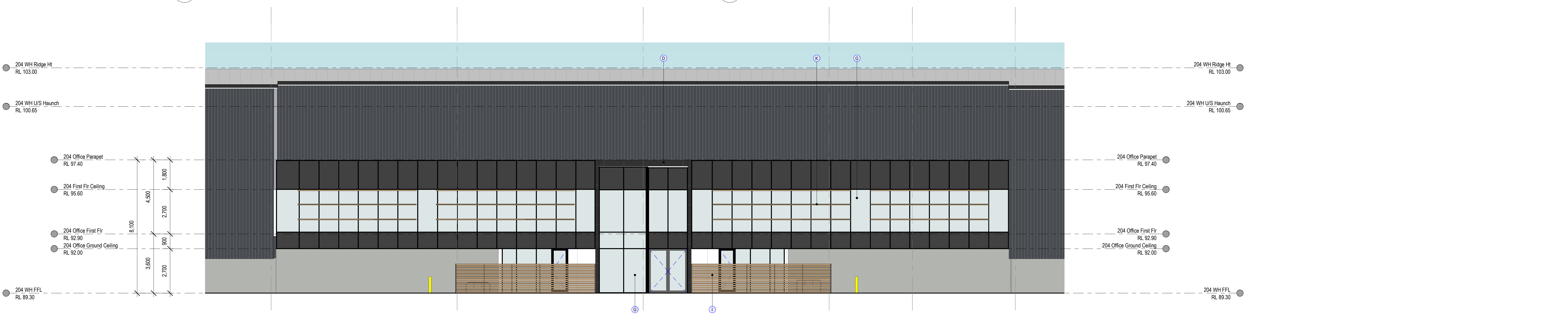
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DRAWING NUMBER: 200226 - DA - 204-A200  
DRAWN: AB  
CHK: HL  
ISSUE: 1



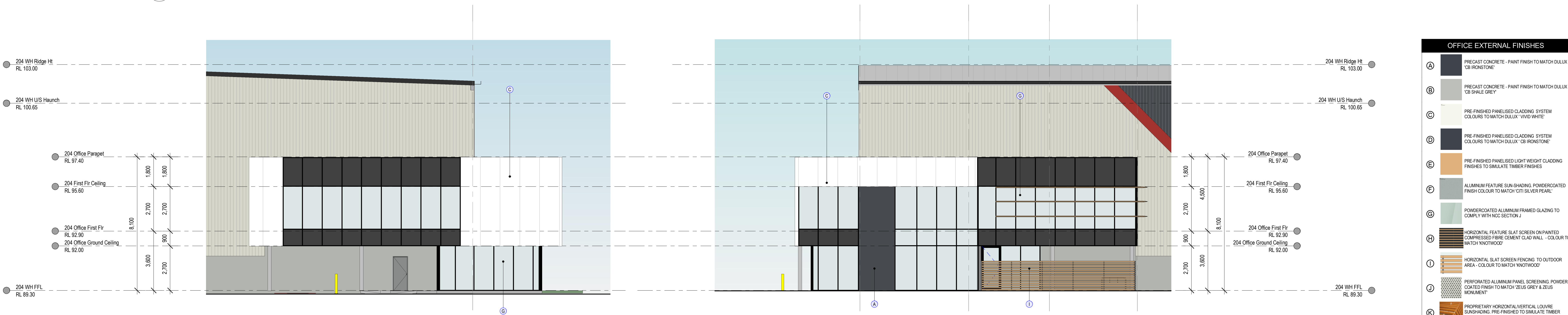
**1 Lot 204 Office-A East Elevation**  
204-A200 1:100 @B1



**2 Lot 204 Office-A North Elevation**  
204-A200 1:100 @B1



**3 Lot 204 Office-B&C East Elevation**  
204-A200 1:100 @B1



**4 Lot 204 Office-D South Elevation**  
204-A200 1:100 @B1

**5 Lot 204 Office-D East Elevation**  
204-A200 1:100 @B1

OFFICE EXTERNAL FINISHES	
(A)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB IRONSTONE'
(B)	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'CB SHALE GREY'
(C)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'VIVID WHITE'
(D)	PRE-FINISHED PANELISED CLADDING SYSTEM COLOURS TO MATCH DULUX 'CB IRONSTONE'
(E)	PRE-FINISHED PANELISED LIGHT WEIGHT CLADDING FINISHES TO SIMULATE TIMBER FINISHES
(F)	ALUMINUM FEATURE SUN-SHADING. POWDERCOATED FINISH COLOUR TO MATCH 'CITI SILVER PEARL'
(G)	POWDERCOATED ALUMINUM FRAMED GLAZING TO COMPLY WITH NCC SECTION 4
(H)	HORIZONTAL FEATURE SLAT SCREEN ON PLANTED COMPRESSED FIBRE CEMENT CLAD WALL - COLOUR TO MATCH 'KNOTWOOD'
(I)	HORIZONTAL SLAT SCREEN FENCING TO OUTDOOR AREA - COLOUR TO MATCH 'KNOTWOOD'
(J)	PERFORATED ALUMINUM PANEL SCREENING POWDER COATED FINISH TO MATCH 'ZEUS GREY & ZEUS MONUMENT'
(K)	PROPRIETARY HORIZONTAL/VERTICAL LOUVE SUNSHADING. PRE-FINISHED TO SIMULATE TIMBER FINISH

**DEVELOPMENT APPLICATION**



PROJECT BANNER  
PROJECT: ESR HORSLEY LOGISTIC PARK  
ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW  
PROJECT NUMBER: 200226

Rev	Description	Date
A	Development Application Issue	22.06.20
B	Development Application Issue	20.10.20

Rev	Description	Date
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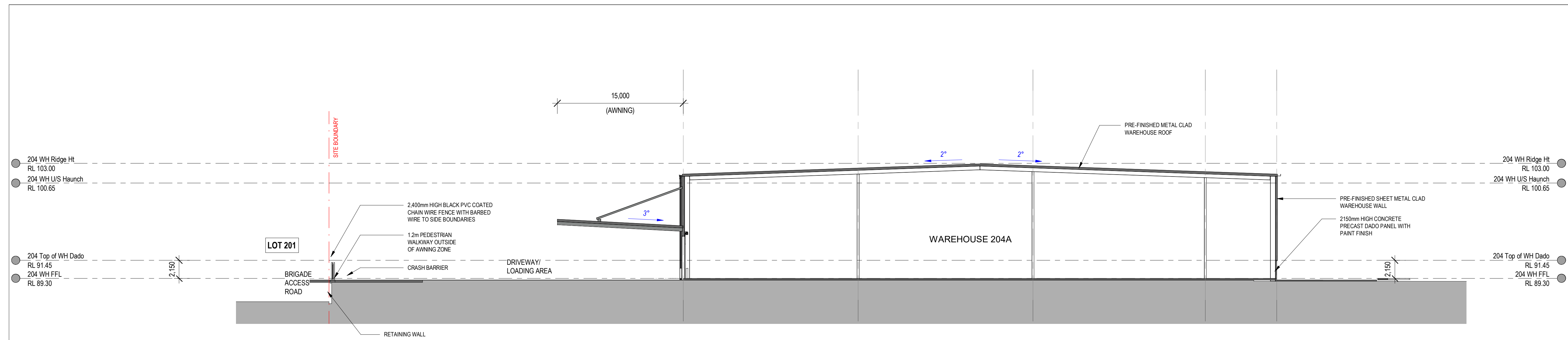
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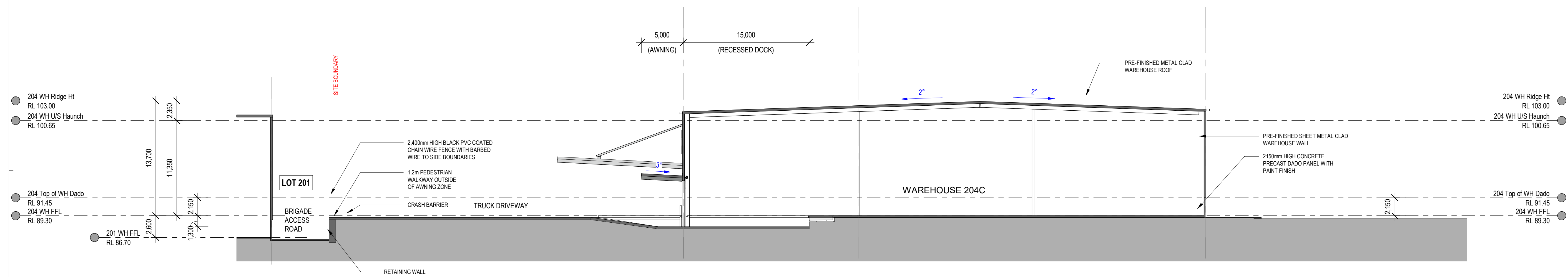


DRAWING TITLE: LOT 204 OFFICE ELEVATIONS  
DRAWING NUMBER: 200226 - DA - 204-A201  
DRAWN: AB  
CHK: HL  
ISSUE: B

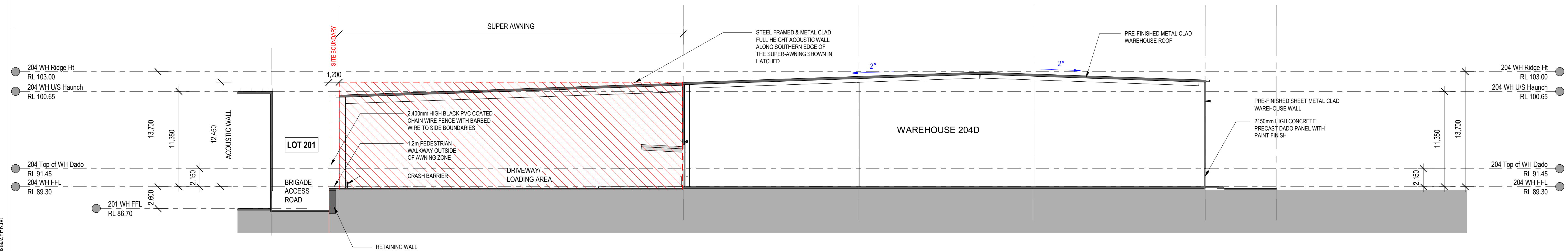
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**1 Lot 204 Longitudinal Section (WH 204-A)**  
204-A200 1:250 @B1



**2 Lot 204 Cross Section (Recessed Dock)**  
204-A200 1:250 @B1



**3 Lot 204 Longitudinal Section (WH 204-B Basement Parking)**  
204-A100 1:250 @B1

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PROJECT NUMBER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD  
HORSLEY PARK NSW  
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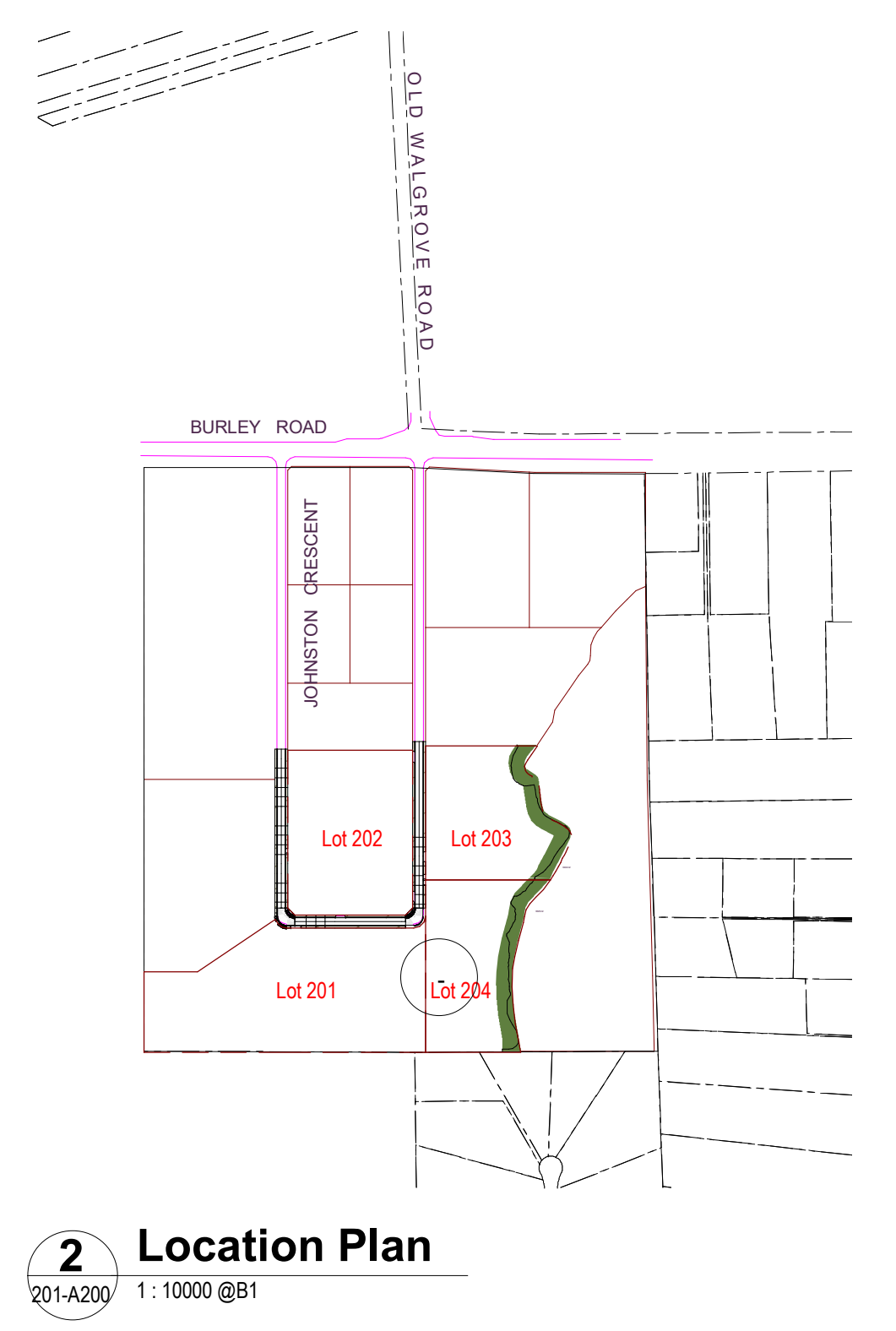
HL Architects Pty Ltd A.C.N. 161 638 320  
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DEVELOPMENT APPLICATION

DRAWING TITLE LOT 204 WAREHOUSE SECTIONS  
DRAWING NUMBER 200226 - DA - 204-A210

DRAWN AB  
CHK HL  
ISSUE



DEVELOPMENT TOTAL AREA	
TOTAL SITE AREA	207,968 sqm
TOTAL BUILDING AREA	112,819 sqm
TOTAL EFFICIENCY	54.25 %

DEVELOPMENT SUMMARY (LOT 201)	
SITE AREA	77,310 sqm
EFFICIENCY	56.07%
WAREHOUSE	42,233 sqm
MAN OFFICE (2 LEVELS)	1,000 sqm
DOCK OFFICE (1 LEVEL)	95 sqm
GUARD HOUSE	22 sqm
TOTAL BUILDING AREA	43,350 sqm
CAR PARKING PROVIDED	232 Spaces
AWNING (15M)	1,876sqm
AWNING (9M)	298 sqm
HEAVY DUTY PAVEMENT (H)	13,845 sqm
LIGHT DUTY PAVEMENT (L)	6,437 sqm

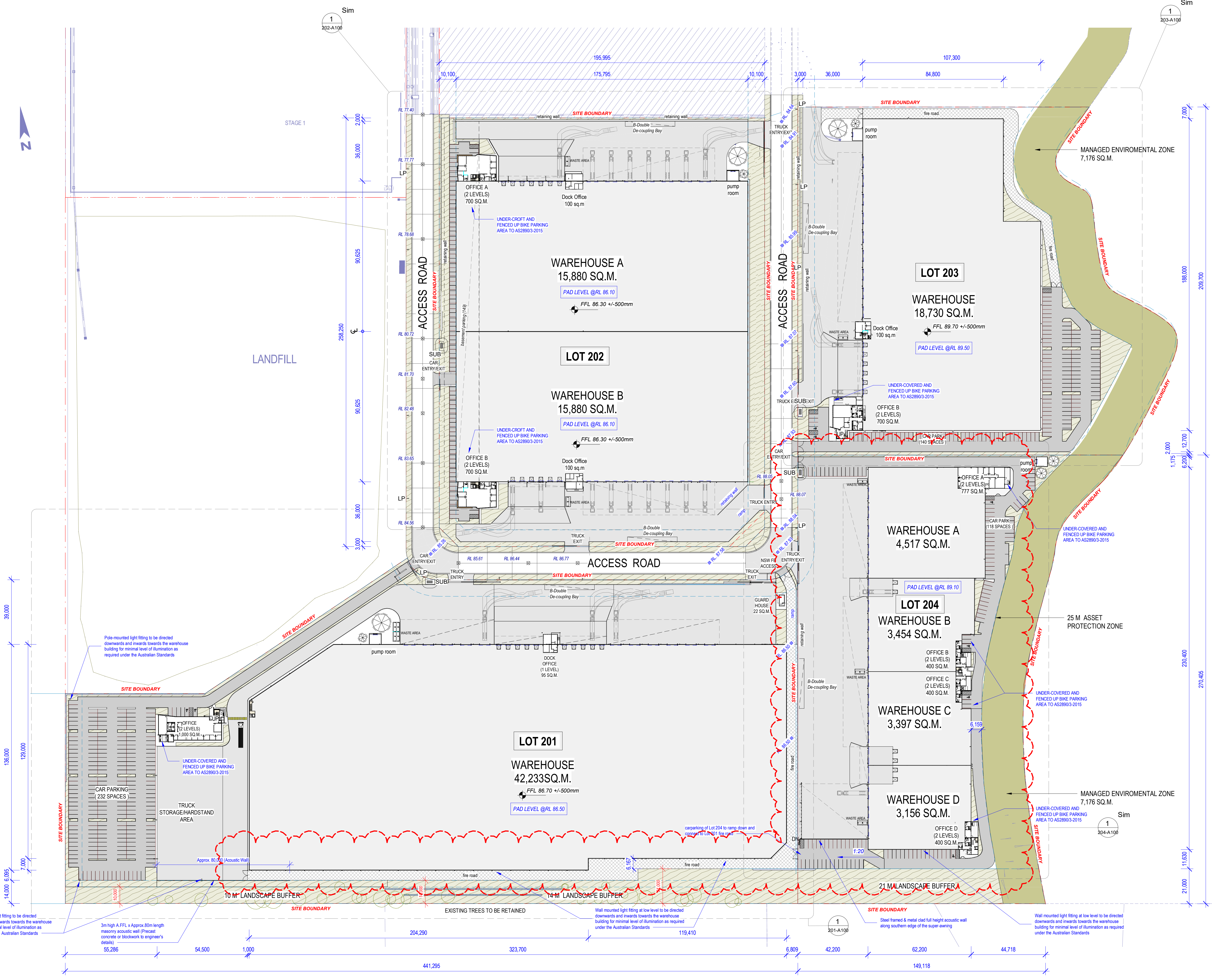
DEVELOPMENT SUMMARY (LOT 202)	
SITE AREA	50,483 sqm
EFFICIENCY	66.08 %
WAREHOUSE A	15,880 sqm
OFFICE & DOCK OFFICE A	800 sqm
WAREHOUSE B	15,880 sqm
OFFICE & DOCK OFFICE B	800 sqm
TOTAL BUILDING AREA	33,360 sqm
CAR PARKING PROVIDED	147 Spaces
HEAVY DUTY PAVEMENT (H)	11,230 sqm
LIGHT DUTY PAVEMENT (L)	3,900 sqm
SUSPENDED SLAB	2,550 sqm

DEVELOPMENT SUMMARY (LOT 203)	
SITE AREA (incl. Environmental Zone - 6,464 sqm)	40,256 sqm
EFFICIENCY	48.47 %
WAREHOUSE	18,730 sqm
OFFICE & DOCK OFFICE	800 sqm
TOTAL BUILDING AREA	19,530 sqm
CAR PARKING PROVIDED	140 Spaces
HEAVY DUTY PAVEMENT (H)	6,150 sqm
LIGHT DUTY PAVEMENT (L)	4,170 sqm

DEVELOPMENT SUMMARY (LOT 204)	
SITE AREA (APZ included - 7,196 sqm)	40,080 sqm
EFFICIENCY	41.36 %
WAREHOUSE A	4,517 sqm
WAREHOUSE B	3,454 sqm
OFFICE A (2 LEVELS)	777 sqm
OFFICE B (2 LEVELS)	400 sqm
OFFICE C (2 LEVELS)	400 sqm
OFFICE D (2 LEVELS)	400 sqm
SHARED LOBBY	78 sqm
WAREHOUSE D	3,156 sqm
OFFICE D (2 LEVELS)	400 sqm
TOTAL BUILDING AREA	16,579 sqm
CAR PARKING PROVIDED	172 Spaces
AWNING (5m)	172sqm
AWNING (15m)	2,215 sqm
AWNING (42m)	1,370sqm
CAR PARKING PROVIDED	117 Spaces
HEAVY DUTY PAVEMENT (H)	9,220 sqm
LIGHT DUTY PAVEMENT (L)	4,970 sqm



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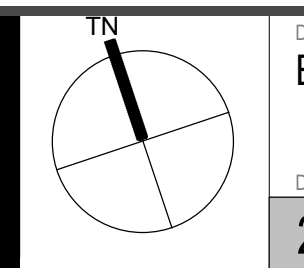


PROJECT NUMBER: 200226  
PROJECT NAME: ESR HORSLEY LOGISTIC PARK  
ADDRESS: 327-335 BURLEY ROAD, HORSLEY PARK NSW

Rev	Description	Date
A	DA Issue	30.03.20
B	Development Application Issue	22.06.20
C	Development Application Issue	20.10.20

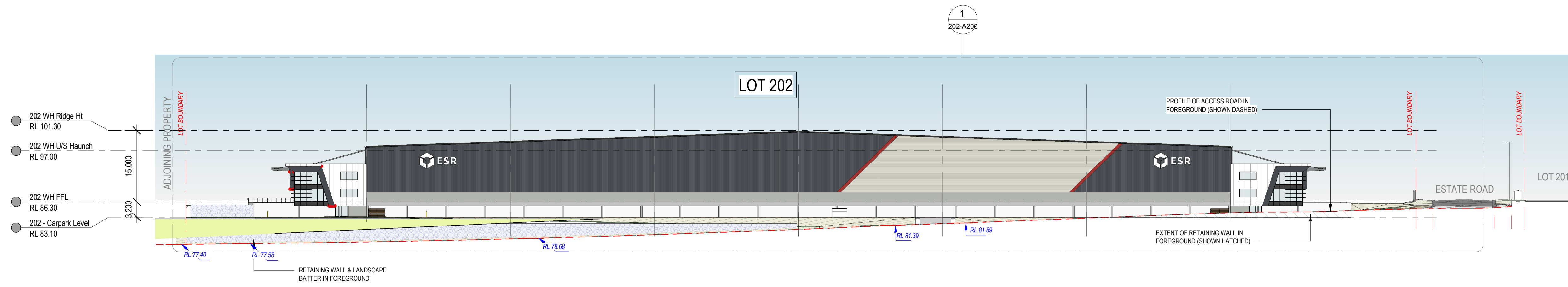
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Do not scale this drawing. Verify all dimensions on site.  
Refer all discrepancies to HLA before commencing any work.

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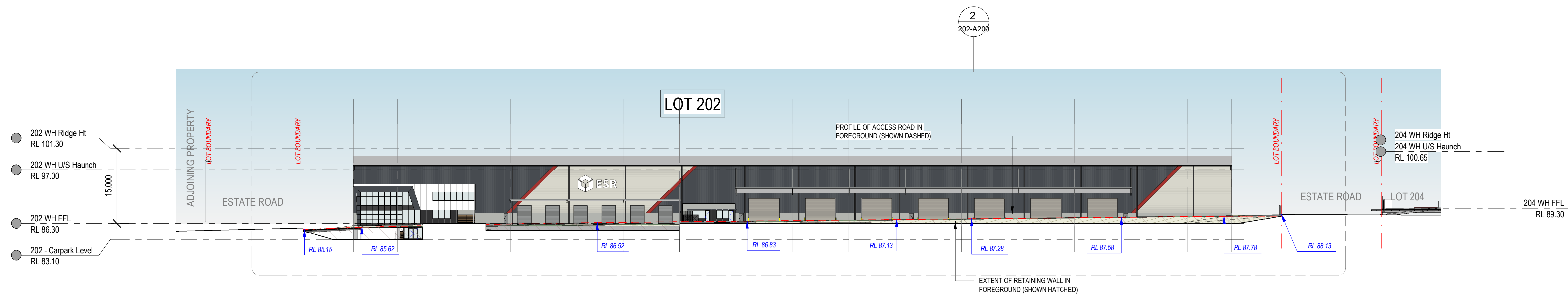


DRAWING TITLE: ESTATE MASTERPLAN  
DRAWING NUMBER: 200226 - DA - MS-A010  
C

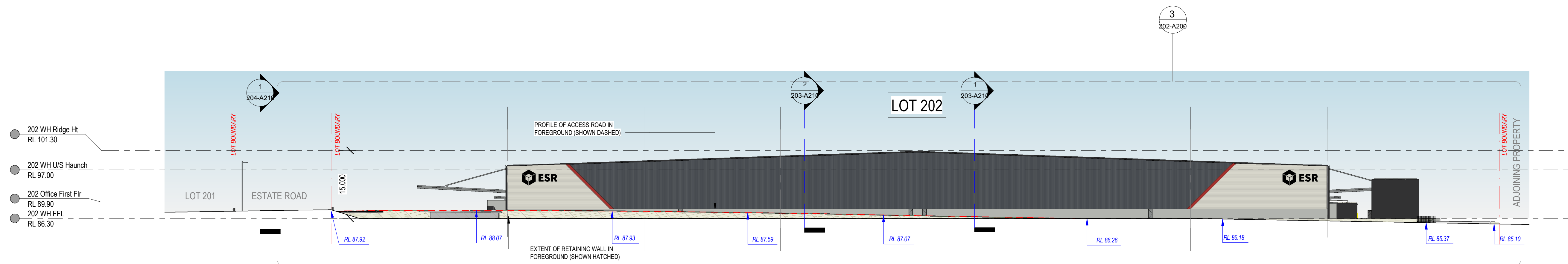
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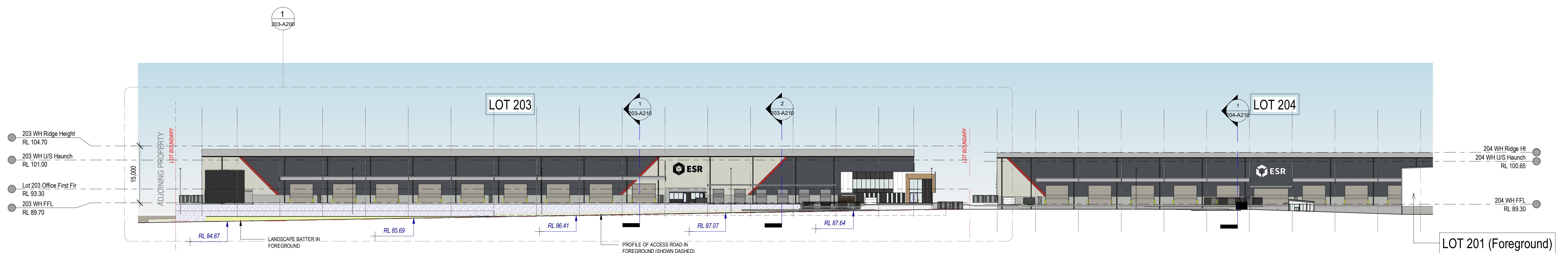
1 Estate Street Elevation (Lot 202 Looking East)  
201-A100 1:500 @B1



2 Estate Street Elevation (Lot 202 Looking North)  
201-A100 1:500 @B1



3 Estate Street Elevation (Lot 202 Looking West)  
201-A100 1:500 @B1



4 Estate Street Elevation (Lot 203 Looking East)  
201-A100 1:500 @B1

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PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
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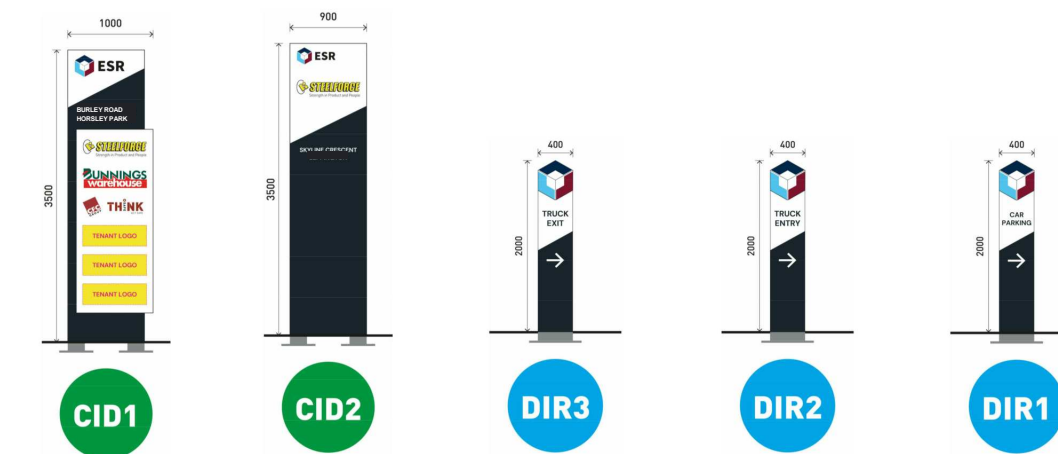
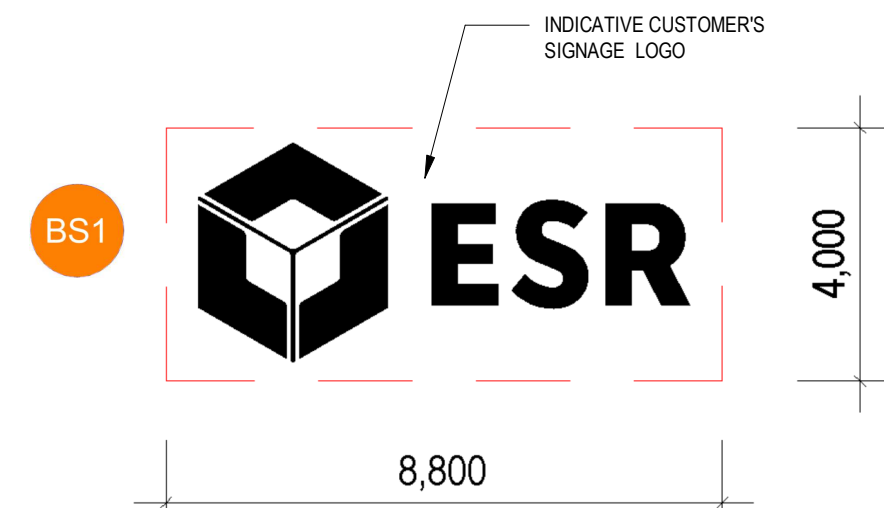
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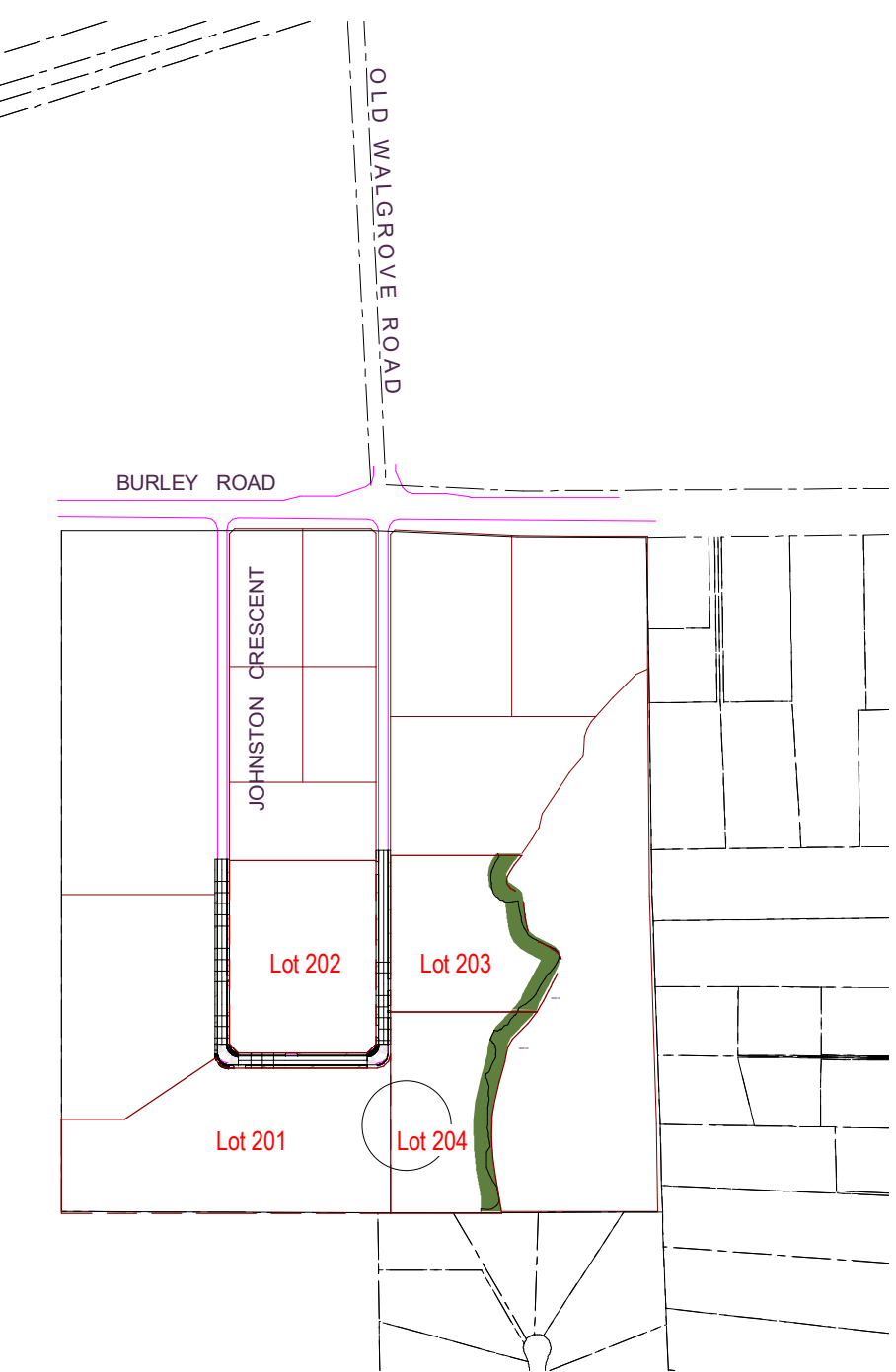
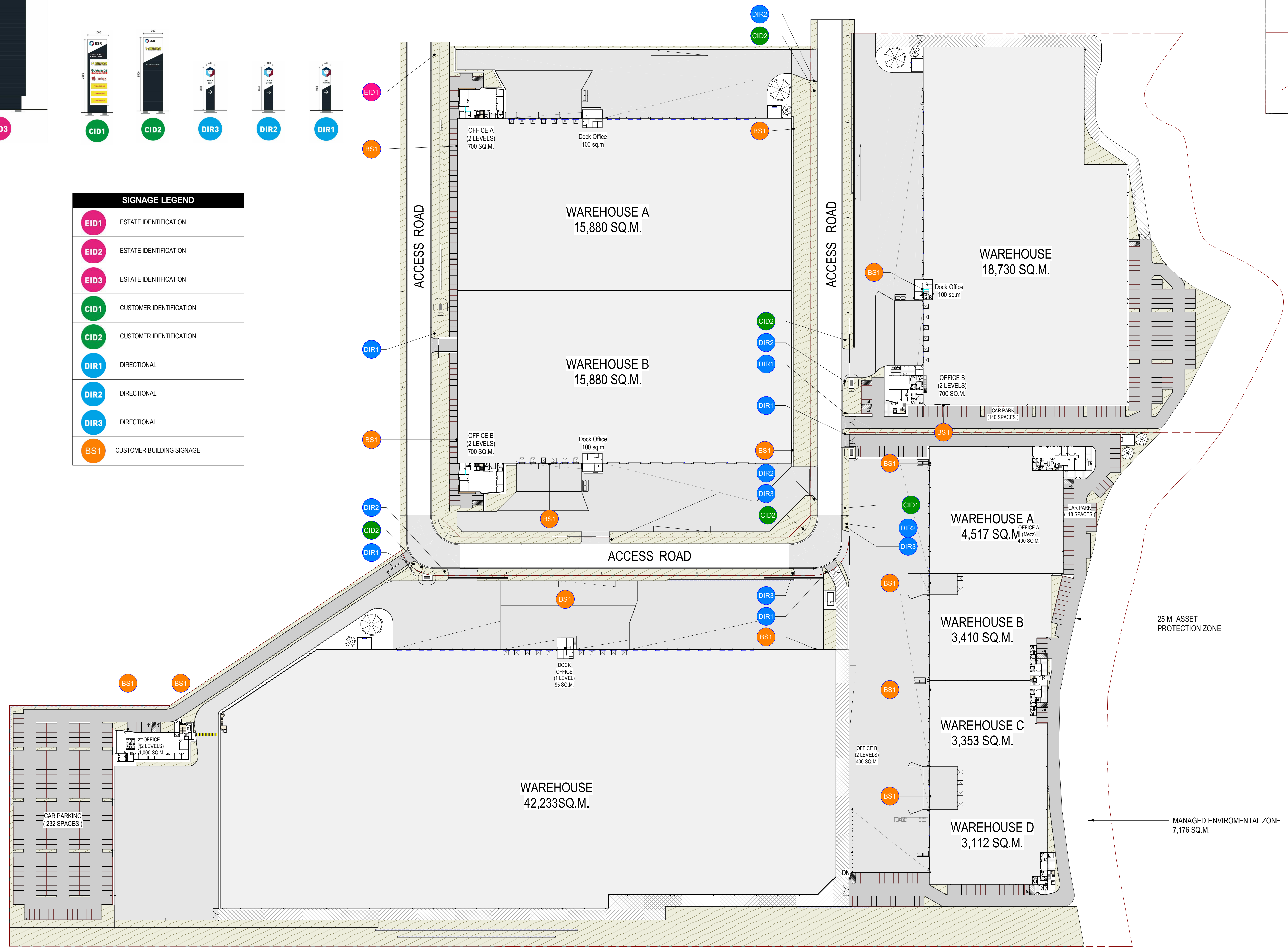
DEVELOPMENT APPLICATION

DRAWING TITLE ESTATE ROAD ELEVATIONS  
DRAWING NUMBER 200226 - DA - MS-A300

DRWN AB  
CHK HL  
ISSUE



SIGNAGE LEGEND	
EID1	ESTATE IDENTIFICATION
EID2	ESTATE IDENTIFICATION
EID3	ESTATE IDENTIFICATION
CID1	CUSTOMER IDENTIFICATION
CID2	CUSTOMER IDENTIFICATION
DIR1	DIRECTIONAL
DIR2	DIRECTIONAL
DIR3	DIRECTIONAL
BS1	CUSTOMER BUILDING SIGNAGE



2 Location Plan  
201-A200 1:10000 @B1

1 Estate Signage Plan  
201-A200 1:1000 @B1



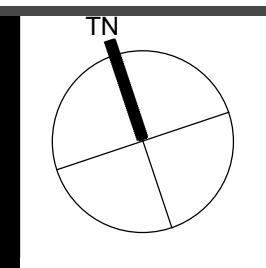
PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
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DEVELOPMENT APPLICATION

DRAWING TITLE ESTATE SIGNAGE PLAN  
DRAWING NUMBER 200226 - DA - MS-A400

DRAWN AB  
CHK HL  
ISSUE

B

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